

CARROLL AT THE AVENUE MIXED USE DEVELOPMENT

MILITARY CUTOFF ROAD WILMINGTON, NORTH CAROLINA 28405

TRC SUBMITTAL MARCH 2019



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: BRIAN CHAMBERS, PLANNER
PH: 910-342-2782

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

**EMERGENCY DIAL 911
POLICE - FIRE - RESCUE**
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
PH: 910-343-0696

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

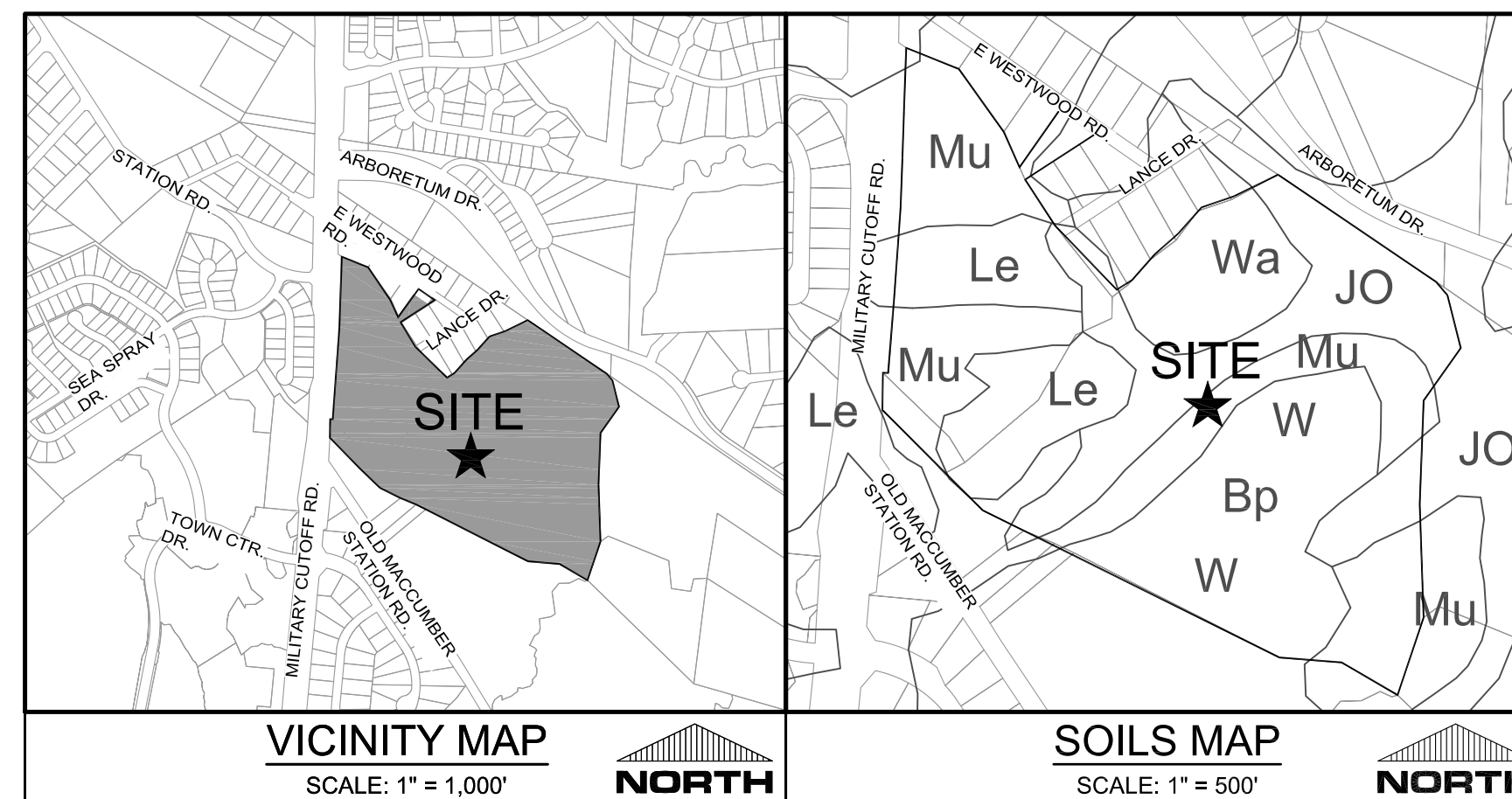
DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
ATTN: ALEX WINSLOW (910) 899-8305
ATTN: SID LIVINGSTON (910) 256-7218

TRANSMISSION AGENT
BILL WILDER
PH: 910-772-4903

AT&T/BELL SOUTH
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

SPECTRUM
GENERAL PH: 800-892-4357



OWNER:
347 MCO, LLC
201 NORTH ELM STREET, SUITE 201
GREENSBORO, NC 27401

DEVELOPER:
CIP CONSTRUCTION COMPANY
201 NORTH ELM STREET, SUITE 201
GREENSBORO, NC 27401
ATTN: DENNIS BURTON, P.E. (336) 275-6198

ENGINEER (CIVIL), SURVEYOR, LANDSCAPE ARCHITECT:
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: ROB BALLAND, P.E. (910) 791-6707
ATTN: CHRIS GAGNE, P.L.S. (910) 791-6707
ATTN: MIKE NICHOLS, R.L.A. (910) 791-6707

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
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C-2.0-2.9	SITE PLANS
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For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

PREPARED BY:
PARAMOUNTE
ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 18473.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

COORDINATION NOTES:

- THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/all PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFAU), AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

- TREE INVENTORY AND TOPOGRAPHIC SURVEY COMPLETED BY PARAMOUNT ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DIGGING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
- CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
- CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 AN ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CPFAU, RESPECTIVELY.

- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPES, OTHER OBSTRUCTIONS OR FROM DELAY OR REMOVAL, OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL, TOLL FREE 1-800-832-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUSCRIBING UTILITIES.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO MUTCD. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- LANDSCAPE PLANTINGS AT ENTRANCE/EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
- ALL DIMENSIONS AND RADI ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

TRAFFIC NOTES:

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY OF WILMINGTON AND/OR NCDOT STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED.
- TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMP.

DEMOLITION NOTES:

- CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES, ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
- ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVERHEAD LINES AND REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
- EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS.

NEW HANOVER COUNTY LAND QUALITY STABILIZATION TIME FRAME NOTE:
 DENUDED AREAS MUST BE STABILIZED WITH FIFTEEN (15) WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY. ALL SLOPES MUST BE STABILIZED WITHIN TWENTY-ONE (21) CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY. THIS INCLUDES SLOPES, SWALES, CHANNELS AND STOCKPILES.

NPDES BUILDING WASTES HANDLING:
 1. NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS.
 2. DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
 3. STOCKPILE MATERIALS MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
 4. CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WASTES, WETLANDS, OR BUFFERS.

NPDES INSPECTIONS:
 1. SAME WEEKLY INSPECTION REQUIREMENTS.
 2. SAME RAIN GAGE & INSPECTIONS AFTER 0.5" RAIN EVENT.
 3. INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS".
 4. INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED.
 5. RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
 6. ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.

NPDES SEDIMENT BASINS:
 1. OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE.
 2. USE ONLY DWO-APPROVED FLOCCULANTS.

NPDES - SPECIFIC PLAN SHEETS NOTES:
 1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
 2. THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
 3. THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
 4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THE NPDES PORTION OF THIS PAGE OF THE PLANS AND THEY ARE NOT A PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE COUNTY CODE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STABILIZATION SCHEDULES AND NOTES OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
- THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION MEETING, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
- ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SOODED OR SEEDED AS INDICATED AND STABILIZED.
- DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NCDENR'S FINAL APPROVAL IS REQUIRED.
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
- WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

- NOTE:** THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH PHASE OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE DISTURBANCE IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE DISTURBANCE LIMITS ARE COMPLETE.
- CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCES(S), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE.
 - CLEAR AND REMOVE FROM SITE STEEP TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
 - CONSTRUCT TEMPORARY SEDIMENT BASIN(S) AND ASSOCIATED SKIMMER, OUTLET PIPE, SPILLWAY, ETC.
 - INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA FOR ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
 - PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
 - IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
 - DURING GRADING AND AFTER GRADING HAS BEEN COMPLETE, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
 - UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
 - THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

EROSION CONTROL MAINTENANCE PLAN:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2 INCH OR GREATER RAINFALL BUT IN NO CASES LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
- SEDIMENT FENCE / SEDIMENT FENCE OUTLETS - SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL, AND SPACED 5 FEET WITH EXTRA STRENGTH FABRIC AND NO WIRE BACKING. STAKE SPACING CAN BE 2 FEET WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS (OR EXCELISOR WATTLES) ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK OR WATTLE WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT. NO LONGER DRAINS, OR IS DAMAGED.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- INLET PROTECTION - SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL. BLOCK AND GRAVEL, WHEN IT REACHES HALF-FILLED. ROCK WILL BE CLEANED OR REPLACED WHEN NO LONGER DRAINS. SILT SACKS, BEAVER DAMS, SANDY SACKS, AND SOCKS NEED CHECKING EVERY WEEK AND AFTER RAIN.
- SEDIMENT BASIN/SEDIMENT TRAPS - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AREA WITH SEDIMENT CONTROLS. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE. PIPING AND FITEMENT, MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE, ETC.
- SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORIFICE, OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
- OUTLET PROTECTION - INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DIsLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER OFFSITE SEDIMENTATION.
- EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE LINED SPILLWAY AND THE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. REPAIR ANY VOES IN THE RIP RAP LINED APRONS. RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE COVER.
- DIVERSION DITCHES / GRASS SWALES - INSPECT THE CHANNEL OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. DIVERSIONS SHALL BE LINED OR STABILIZED AS NOTED ON THE PLANS. IF THE DIVERSION WILL BECOME PERMANENT GRASS SWALES, THEN GROW GRASS INTO A HEALTHY, VIGOROUS CONDITION.
- CHECK DAMS - EXCELISOR OR RIP-RAP - SEDIMENT SHALL BE REMOVED FROM THE DAM WHEN IT REACHES HALF-FILLED. CHECK DAMS SHALL BE REPAIRED OR REPLACED, AND CHANNEL SHALL BE REPAIRED OF RIPS, PIPING, AND SETTLEMENT AROUND THE DAMS AS NEEDED.
- CONCRETE WASHOUTS - CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAGES SHOULD BE REPAIRED PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EVAPORATE TO AVOID OVERFLOWS. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER COVERED TO AVOID AN OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.

PERMANENT SEEDING	GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
	BERMUDA, HULLED	10-20	MARCH - AUGUST	BY SOIL TEST
	BERMUDA, UNHULLED	35	SEPT. - FEB.	
	CENTPEDE	10	MARCH - AUGUST	
	TALL FESCUE (COASTAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LB/AC 10-20-20 OR BY SOIL TEST
	SLOPES >= 2:1 CENTPEDE, SERICEA LESPEDEZA	5 20	JAN - DEC	BY SOIL TEST

TEMPORARY SEEDING	GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
	RYE GRASS	50	OCT. - APR.	400 LBS/AC. 10-20-20
	SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/AC. 10-20-20
	GERMAN OR BROUNTOP MILLET	50	JUNE - AUGUST	400 LBS/AC. 10-20-20
	STRAW MULCH AS NEEDED	4,000		

STABILIZATION TIME FRAME:
 *IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY, CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT.

NPDES WATER QUALITY STABILIZATION TIME FRAME			
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS	
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE	
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE	
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 1:1, 14 DAYS	
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 2:1 IN LENGTH	
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HOW ZONES	

NC ACCESSIBILITY NOTES:

- GENERAL NOTES:**
- SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE(ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS).
 - IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNT ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, PARAMOUNT ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE(ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
 - THE CONTRACTOR SHALL NOTIFY PARAMOUNT ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNT ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
 - THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
- AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
- WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
- ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMP OR CURB RAMPS.
- TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
- FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
- WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, THE CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. *SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES.
- AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT LEAST EVERY 100 FEET. CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING AND LEAVING THE TURN, AND SIXTY (60) INCHES MINIMUM DURING THE TURN. CLEAR WIDTH SHALL BE SIXTY (60) INCHES MINIMUM THROUGH THE TURN. WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ANGLES OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
- DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE(ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS).
- DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
- WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
- WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

RAMP NOTES:

- ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
- THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
- THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1). WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
- THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
- LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
- RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE(ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS).
- FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE(ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
- WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE(ANSI A117.1) SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA, WHERE DOORS THAT ARE SUBJECT TO TURNING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT LOCKING SPACE.

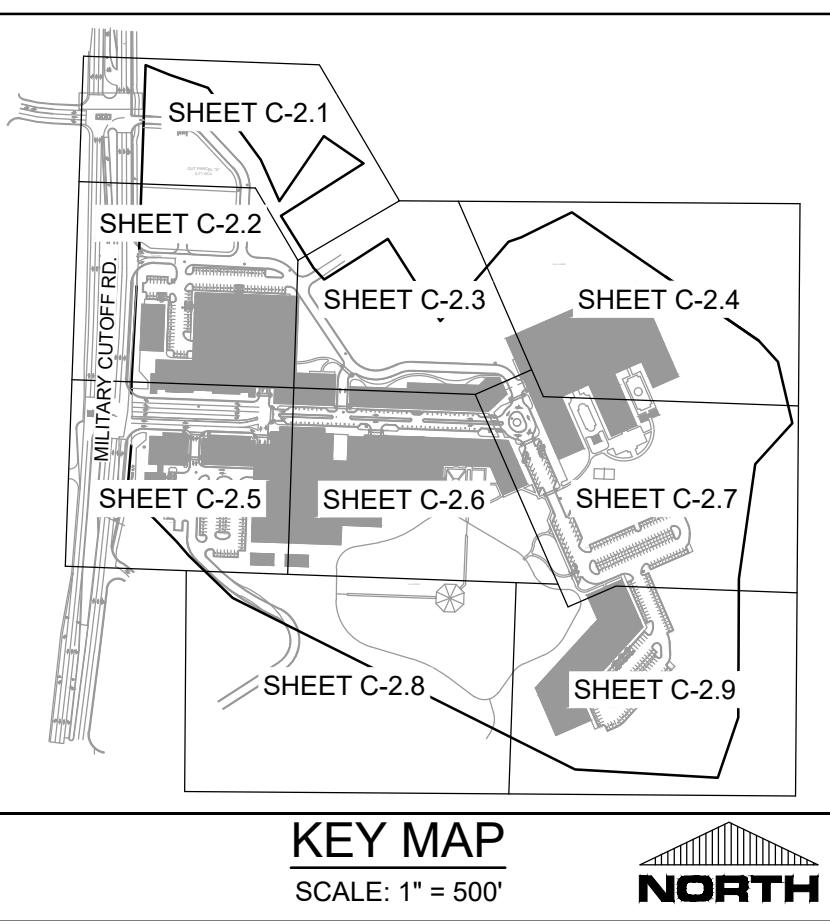
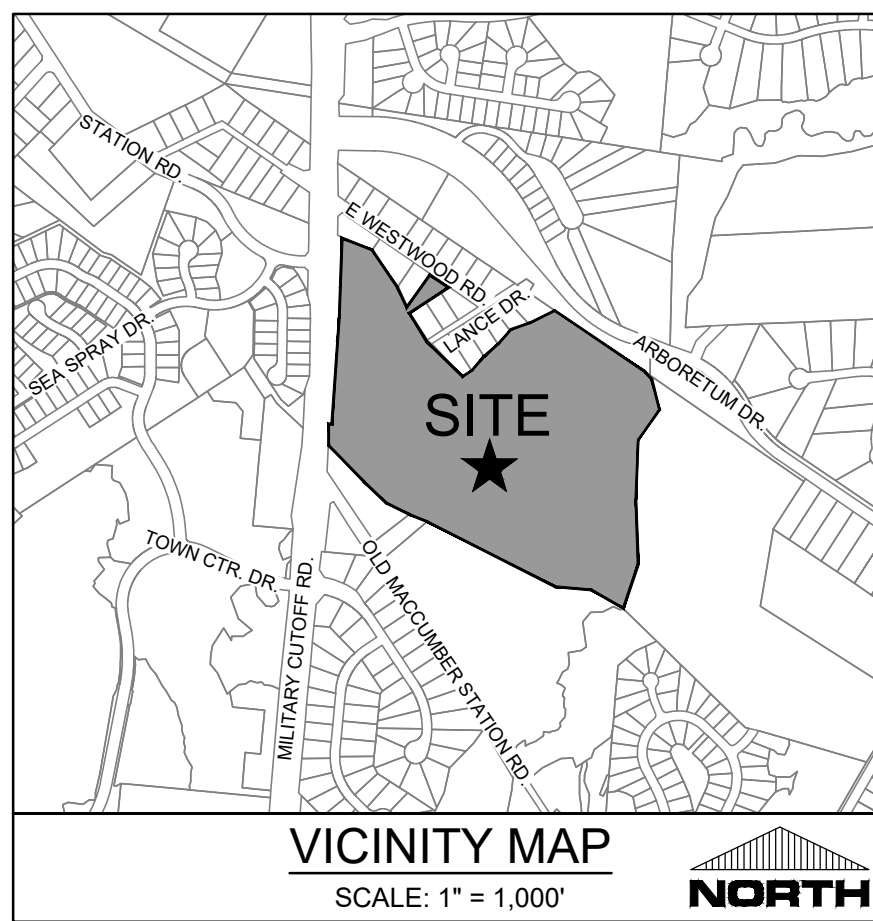
CURB RAMP NOTES:

- THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
- COUNTER SLOPE OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
- THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).
- LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, INCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
- IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
- WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
- CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
- CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
- IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
- FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/4 INCH WIDE BY 1/4 INCH DEEP. ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
- WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
- WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
- WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
- CURB RAMP TYPE AND LOCATION ARE PER PLAN.

NC ACCESSIBILITY NOTES CONTD.

PARKING SPACE NOTES:

- ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
- ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 86 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
- PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
- TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
- ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
- ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
- ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
- FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
- PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
- PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES



SITE DATA TABULATION

APPLICANT: CIP CONSTRUCTION COMPANY
201 NORTH ELM STREET, SUITE 201
GREENSBORO, NC 27401

PROJECT ADDRESS: 347 MILITARY CUTOFF RD.
349 MILITARY CUTOFF RD.
565 MILITARY CUTOFF RD.
302 LANCE DRIVE
306 LANCE DRIVE
128 E. WESTWOOD DR.
WILMINGTON, NC 28405

TAX PARCEL ID #: R05105-001-023-000
R05105-002-008-000
R05105-001-024-000
R05105-001-015-000
R05105-001-015-001
R05105-001-019-000

DEED REFERENCE: DB 1335 PG 019, DB 5619 PG 1573, DB 1220 PG 1622, DB 5949 PG 965, DB 2587 PG 146, DB 9901 PG 501

TOTAL SITE AREA: 44.5 +/- ACRES (1,938,420 SF)
CURRENT ZONING: UMX (CD)
THE SITE IS A DESIGNATED AREA OF HIGH INTENSITY FROM THE COMP PLAN

CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION AREA / CONSERVATION AREA

MAXIMUM ALLOWABLE BUILDING HEIGHT: 55' (75' WITH SUP)
MAXIMUM BUILDING AREA: 1,750,000 SF
PROPOSED BUILDING LOT COVERAGE: 21.9%
EXISTING LAND USE: MOBILE HOME PARK
COMMERCIAL SERVICE
PROPOSED LAND USE: MIXED USE

SETBACK STANDARDS
REQUIRED MINIMUM SETBACK FROM SINGLE-FAMILY ZONING DISTRICT

MAXIMUM BUILDING HEIGHT	REQUIRED MINIMUM SETBACK
35 FEET	35 FEET
45 FEET	45 FEET
45 FEET	55 FEET
45 FEET	75 FEET

PROPOSED MINIMUM SETBACK FROM SINGLE-FAMILY ZONING DISTRICT

MAXIMUM BUILDING HEIGHT	PROPOSED MINIMUM SETBACK
45 FEET	45 FEET
45 FEET	55 FEET
45 FEET	75 FEET

NOTE: IN NO CASE SHALL FRONT SETBACKS ADJACENT TO THE PRIMARY STREET(S) OR INTERNAL STREET(S) EXCEED TEN FEET.

FLOOD NOTE
PORTIONS OF THE SUBJECT PARCEL LIE WITHIN FLOOD ZONE X (MINIMAL FLOOD RISK) & FLOOD ZONE AE (12") AS INDICATED BY FEMA FLOOD ZONE PANEL 3158, MAP NUMBER 3720315800K, BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.

CAMA NOTE
A PORTION OF THE SITE IS LOCATED WITHIN THE 575' OUTSTANDING RESOURCE WATER (ORW) AREA OF ENVIRONMENTAL CONCERN (AEC) AND WILL REQUIRE A CAMA MAJOR PERMIT.

WETLAND NOTES
1. WETLANDS SHOWN PER DELINEATION BY HUYSMAN & BRADY, INC.
2. PROJECT WILL REQUIRE WETLANDS TO BE FILLED. ALL APPLICABLE LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN OBTAINED.

ZONING NOTE
THE SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT OR OTHER ZONING OVERLAY DISTRICT.

WATER & SEWER (EXISTING AND PROPOSED)
WATER: 21,365 GPD (CURRENT USE)
WATER: 269,214 GPD (PROPOSED USE)
SEWER: 21,365 GPD (CURRENT USE)
SEWER: 269,214 GPD (PROPOSED USE)

WATER AND SEWER SHALL BE PROVIDED (SEE PLAN) AND WILL BE A COMBINATION OF EXISTING AND PROPOSED (PUBLIC AND PRIVATE)

RECREATIONAL AREAS AND OPEN SPACE
NOT REQUIRED FOR THIS PROJECT

GENERAL NOTES

- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- SEE SHEET C-X-X FOR TYPICAL ROADWAY CROSS SECTIONS.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10'.
- CONTACT TRAFFIC ENGINEERING FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY. 910-341-3258

FIRE & LIFE SAFETY NOTES

- LANDSCAPING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A THREE (3) FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- HYDRANTS MUST BE LOCATED WITHIN EIGHT (8) FEET OF CURBS.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF BUILDINGS.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES.

STORMWATER NOTES

- THE SITE DRAINS TO HOWE CREEK (STREAM INDEX 18-87-23; CLASSIFICATION SA; ORW). STORMWATER MANAGEMENT WILL BE IN ACCORDANCE WITH CITY OF WILMINGTON RULES AND REGULATIONS FOR HIGH DENSITY DEVELOPMENT (IMPERVIOUS > 12%) AND SA/ORW RULES.
- MAXIMUM DENSITY ALLOWED WITH 575' OF THE ORW IS LIMITED TO 25%.
- ALL IMPERVIOUS AREA WITHIN 50-FT SETBACK FROM SURFACE WATERS MUST BE COLLECTED AND TREATED ON SITE.
- A COMBINATION OF ABOVE GROUND BMP'S AND PERMEABLE PAVEMENT WILL BE USED TO TREAT AND CONTROL STORMWATER RUNOFF.

IMPERVIOUS INFORMATION

EXISTING IMPERVIOUS (ALL TO BE REMOVED)	289,238 SF (6.64 AC) (14.9%)
PROPOSED IMPERVIOUS SIDEWALKS/CONCRETE ASPHALT PARKING LOT BUILDINGS	84,070 SF (1.93 AC) 321,910 SF (7.39 AC) 425,145 SF (9.76 AC)
TOTAL PROPOSED IMPERVIOUS	831,125 SF (19.08 AC) (42.8%)

SITE PARKING

THERE ARE NO MINIMUM REQUIREMENTS. PARKING SHALL NOT EXCEED THE MAXIMUM PARKING REQUIREMENTS ESTABLISHED FOR ANY USE IN ARTICLE 9 OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE. SEE PARKING CALCULATIONS TABLE BELOW FOR CALCULATIONS.

UTILITY NOTES

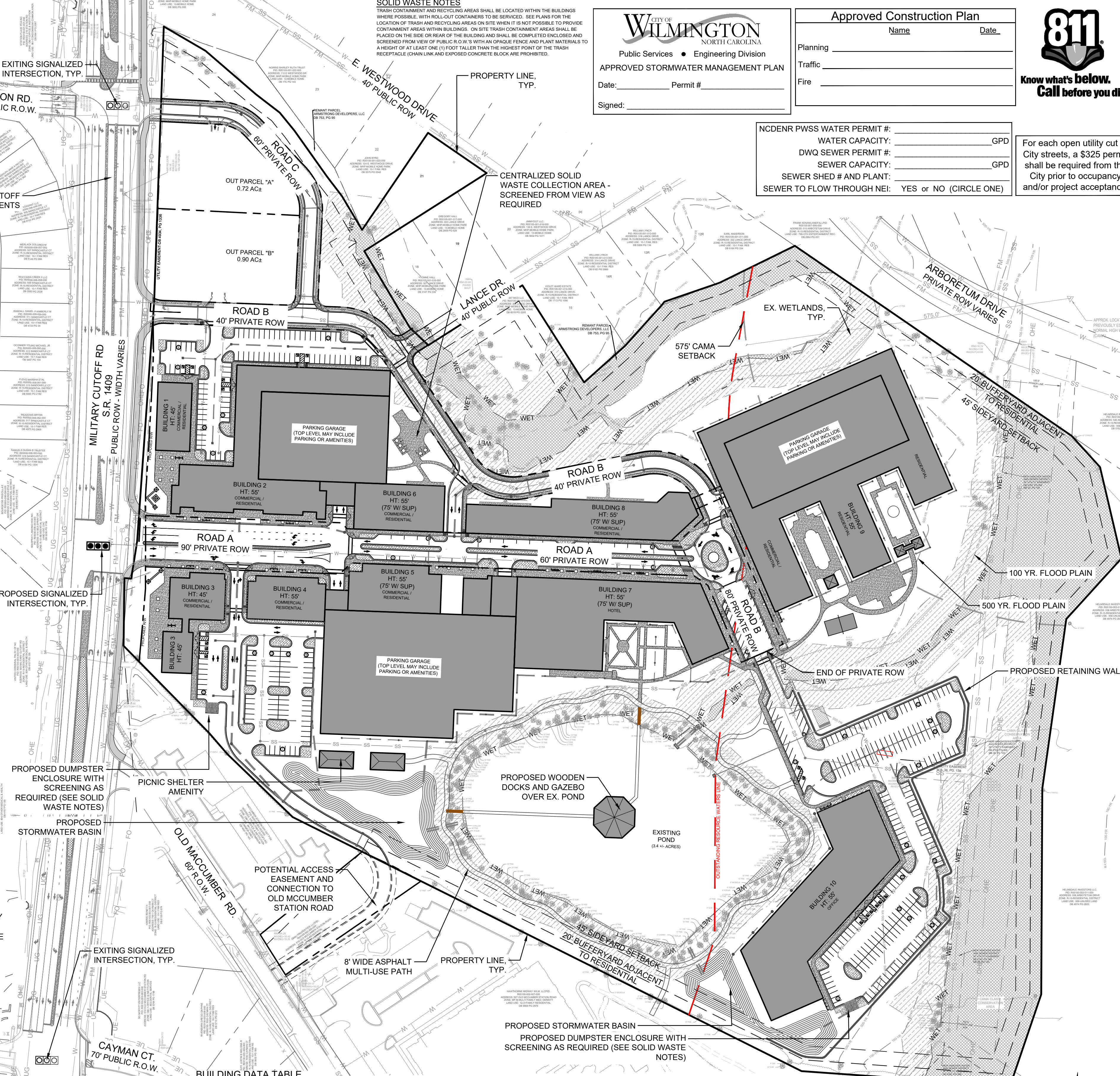
- WATER SERVICE WILL BE PROVIDED FROM EXISTING MAINLINE ON MILITARY CUTOFF RD. A MASTER METER AND BACKFLOW PREVENTER WILL BE LOCATED AT THE PROPERTY LINE OR IN AN EASEMENT DEDICATED TO CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA).
- WATER DISTRIBUTION AND FIRE PROTECTION SYSTEM ONSITE WILL BE PRIVATE.
- SEWER SERVICE WILL BE PROVIDED THROUGH NEW PRIVATE ONSITE COLLECTION SYSTEM THAT WILL CONNECT TO EXISTING CFPUA MAINLINE AT THE REAR OF THE PROPERTY.
- WATER AND SEWER EXTENSION PERMITS WILL BE OBTAINED AS REQUIRED.
- UNUSED EXISTING UTILITIES ONSITE SHALL BE PROPERLY ABANDONED OR REMOVED. EXISTING EASEMENTS SHALL BE ABANDONED.
- ALL UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS, AND TELEPHONE SHALL BE INSTALLED UNDERGROUND.

PARKING CALCULATIONS TABLE

UDO	Quantity	Unit	Maximum Parking Allowed										Parking Provided								
			B1	B2	B3	B4	B5	B6	B7	B8	B9	B10		Total							
Retail Area (sf)	0.01	spot/sf	36	144	20	55	65	65	0	123	68	0	575								
Restaurant Area (sf)	0.02	spot/sf	0	123	123	0	0	0	0	0	0	0	246								
Hotel Rooms	1.00	spot/room	0	0	0	0	0	0	0	231	0	0	231								
Office Area (sf)	0.01	spot/sf	36	0	0	0	0	0	0	0	0	0	668								
Residential Area (sf)	0	spot/sf	0	0	0	0	0	0	0	0	0	0	0								
1-Bedroom Units	2.50	spot/unit	0	78	0	23	48	48	0	88	235	0	518								
2-Bedroom Units	2.50	spot/unit	0	98	0	30	58	58	0	110	293	0	645								
3-Bedroom Units	2.50	spot/unit	0	20	0	5	13	13	0	23	58	0	130								
Parking Deck Spaces	0	spot/unit	0	384	0	0	606	0	0	0	610	0	1600								
Surface Parking Spaces											1448	435									
Total Parking Spaces Allowed											0	384	0	0	606	0	0	610	0	1600	2035

Bicycle Parking Required	Quantity	Unit	Total
Retail Area (sf)	0.001	spot/sf	115
Residential (units)	1	spot/unit	517
Office (sf)	0.0002	spot/sf	28
Total Required =			660

ADA PARKING REQUIREMENTS:
34 STANDARD SPACES
7 VAN SPACES
TOTAL ADA PARKING REQUIRED = 41 SPACES
TOTAL ADA PARKING PROVIDED = 41 SPACES



SOLID WASTE NOTES
TRASH CONTAINERS AND RECYCLING AREAS SHALL BE LOCATED WITHIN THE BUILDINGS WHERE POSSIBLE. WITH ROLL-OUT CONTAINERS TO BE SERVICED. SEE PLANS FOR THE LOCATION OF TRASH AND RECYCLING AREAS ON SITE WHEN IT IS NOT POSSIBLE TO PROVIDE CONTAINMENT AREAS WITHIN BUILDINGS. ON SITE TRASH CONTAINMENT AREAS SHALL BE PLACED ON THE SIDE OR REAR OF THE BUILDING AND SHALL BE COMPLETED ENCLOSED AND SCREENED FROM VIEW OF PUBLIC ROW'S WITH AN ORANGE FENCE AND PLANT MATERIALS TO A HEIGHT OF AT LEAST ONE (1) FOOT TALLER THAN THE HIGHEST POINT OF THE TRASH RECEPTACLE (CHAIN LINK AND EXPOSED CONCRETE BLOCK ARE PROHIBITED).

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____



NCDENR PWSS WATER PERMIT #: _____ GPD

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT #: _____ GPD

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

PARAMOUNTE ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License #: C-2846

CLIENT INFORMATION:
CIP CONSTRUCTION COMPANY
201 NORTH ELM STREET, STE. 201
GREENSBORO, NC 27401

OVERALL SITE PLAN
CARROLL AT THE AVENUE
MILITARY CUTOFF RD
WILMINGTON, NC 28405

PROJECT STATUS
DATE: 03/13/18
SCALE: 1" = 100'
DRAWN: [Name]
CHECKED: [Name]

DRAWING INFORMATION
DATE: 03/13/18
SCALE: 1" = 100'
DRAWN: [Name]
CHECKED: [Name]

REVISIONS:

PEI JOB#: 18473.PE

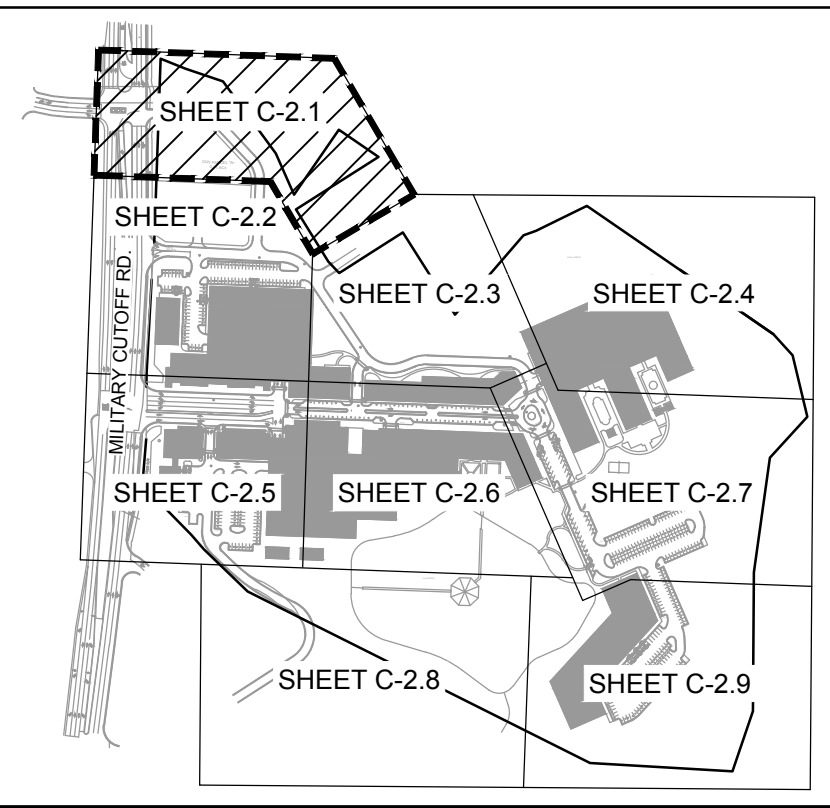
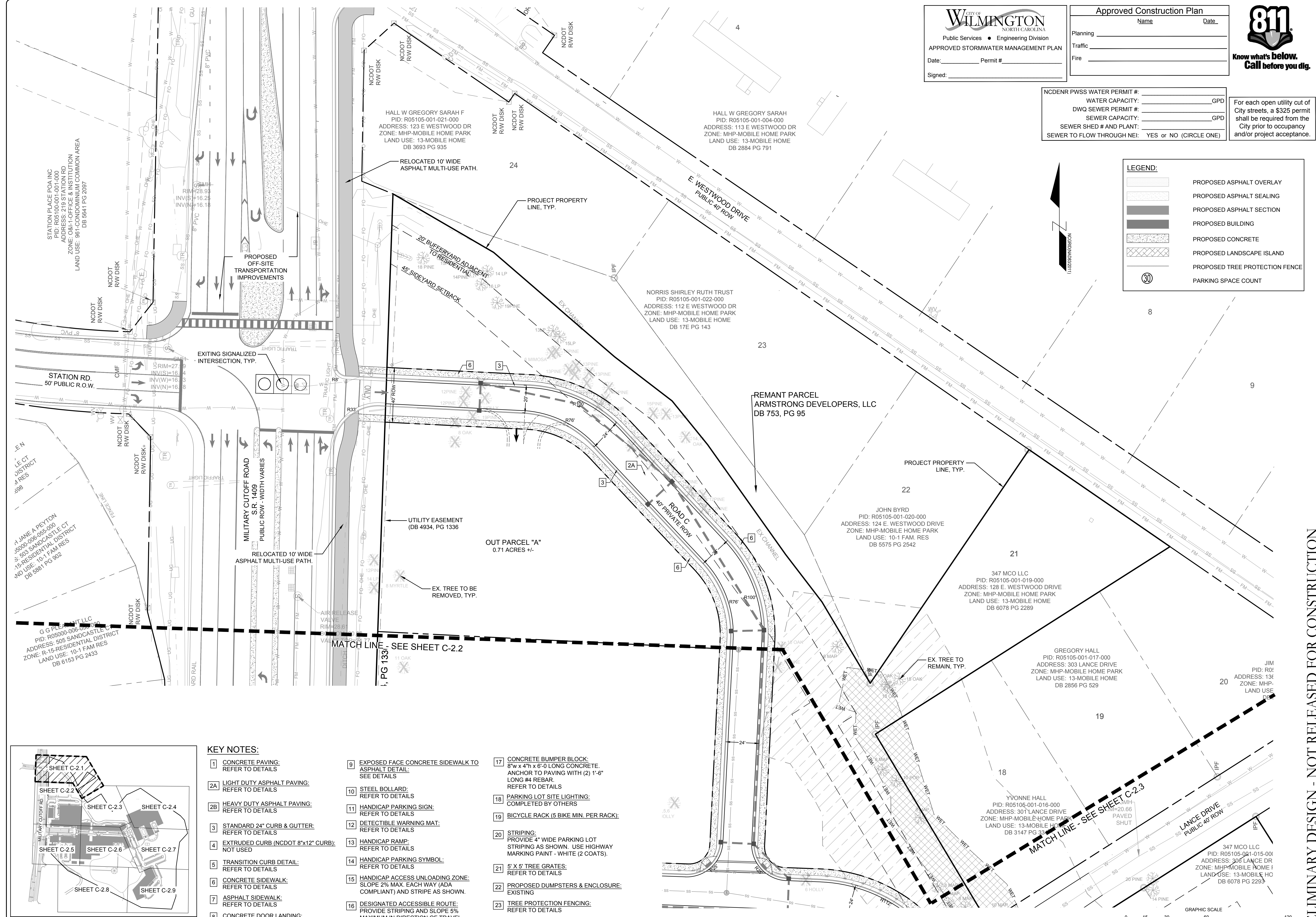
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NCDENR PWSS WATER PERMIT #:	_____	GPD
WATER CAPACITY:	_____	GPD
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SEWER CAPACITY:	_____	GPD
SEWER SHED # AND PLANT:	_____	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)	

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LEGEND:

	PROPOSED ASPHALT OVERLAY
	PROPOSED ASPHALT SEALING
	PROPOSED ASPHALT SECTION
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED LANDSCAPE ISLAND
	PROPOSED TREE PROTECTION FENCE
	PARKING SPACE COUNT



- KEY NOTES:**
- 1 CONCRETE PAVING: REFER TO DETAILS
 - 2A LIGHT DUTY ASPHALT PAVING: REFER TO DETAILS
 - 2B HEAVY DUTY ASPHALT PAVING: REFER TO DETAILS
 - 3 STANDARD 24" CURB & GUTTER: REFER TO DETAILS
 - 4 EXTRUDED CURB (NCDOT 8"x12" CURB): NOT USED
 - 5 TRANSITION CURB DETAIL: REFER TO DETAILS
 - 6 CONCRETE SIDEWALK: REFER TO DETAILS
 - 7 ASPHALT SIDEWALK: REFER TO DETAILS
 - 8 CONCRETE DOOR LANDING: SEE ARCHITECTURAL PLANS
 - 9 EXPOSED FACE CONCRETE SIDEWALK TO ASPHALT DETAIL: SEE DETAILS
 - 10 STEEL BOLLARD: REFER TO DETAILS
 - 11 HANDICAP PARKING SIGN: REFER TO DETAILS
 - 12 DETECTIBLE WARNING MAT: REFER TO DETAILS
 - 13 HANDICAP RAMP: REFER TO DETAILS
 - 14 HANDICAP PARKING SYMBOL: REFER TO DETAILS
 - 15 HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
 - 16 DESIGNATED ACCESSIBLE ROUTE: PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.
 - 17 CONCRETE BUMPER BLOCK: 8" w x 4" h x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1'-6" LONG #4 REBAR. REFER TO DETAILS
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 - 19 BICYCLE RACK (5 BIKE MIN. PER RACK):
 - 20 STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
 - 21 5' X 5' TREE GRATES: REFER TO DETAILS
 - 22 PROPOSED DUMPSTERS & ENCLOSURE: EXISTING
 - 23 TREE PROTECTION FENCING: REFER TO DETAILS
 - 24 CONCRETE DRIVE APRON (COMMERCIAL): C.O.W. STANDARDS. SEE DETAILS.

REVISIONS:

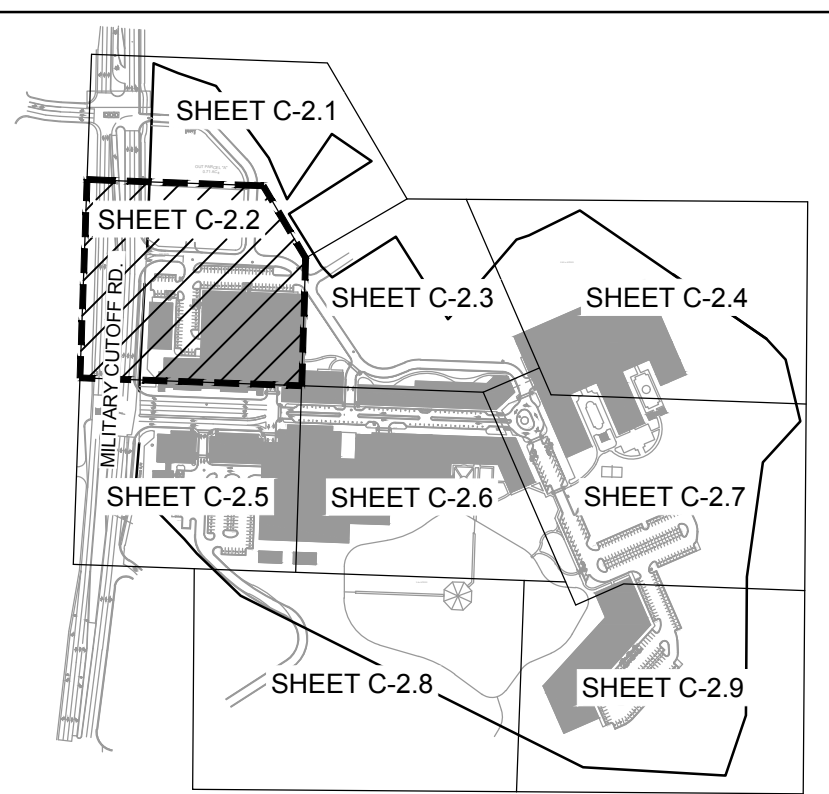
CLIENT INFORMATION:
PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28405
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

SITE PLAN
CARROLL AT THE AVENUE
MILITARY CUTOFF RD
WILMINGTON, NC 28405

PROJECT STATUS
 PRELIMINARY LAYOUT:
 FINAL DESIGN:
 RELEASED FOR CONSTRUCTION:
 DATE: 03/13/18
 SCALE: 1" = 30'
 DRAWN: [Signature]
 CHECKED: [Signature]

PEI JOB#: 18473.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



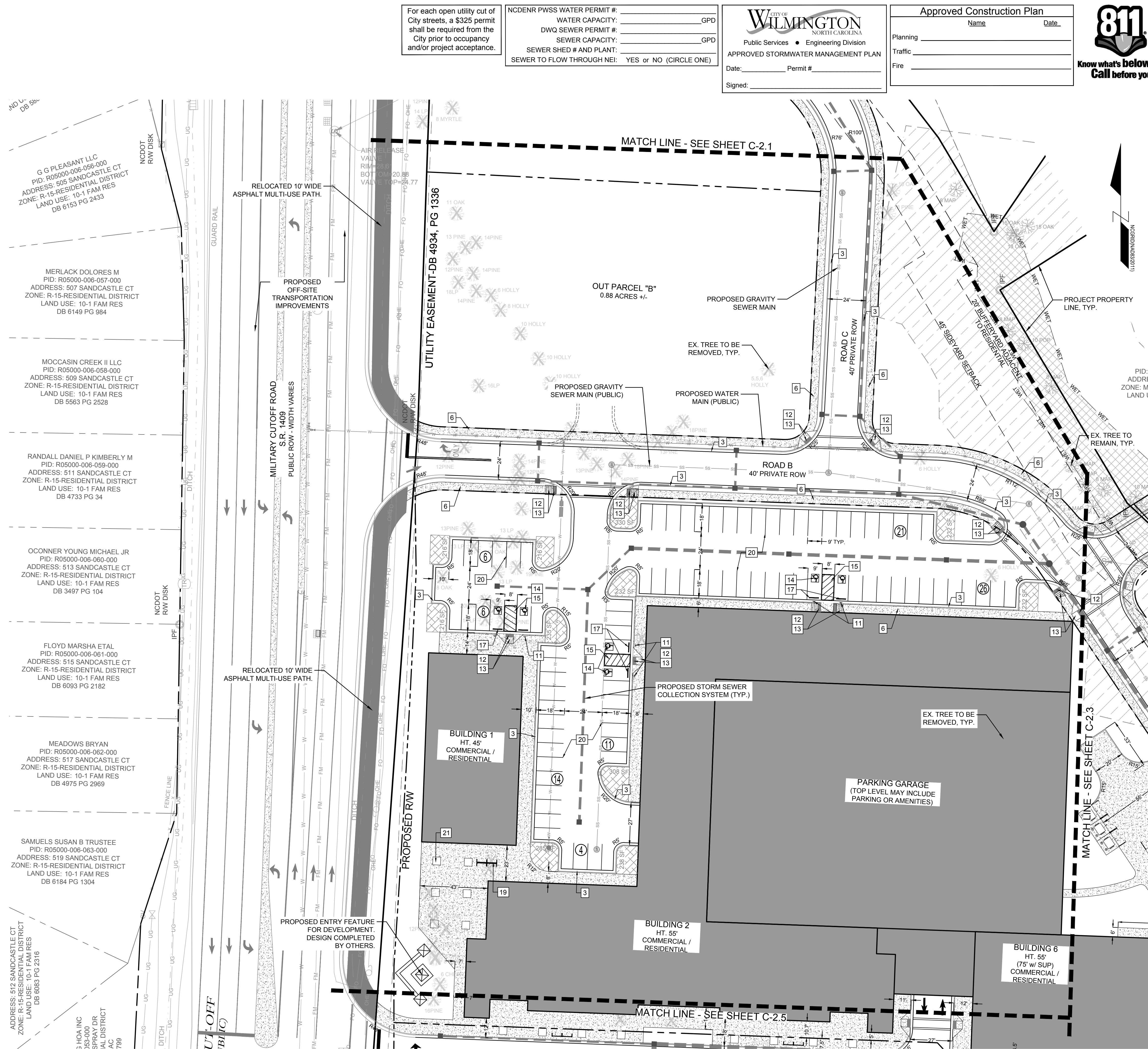
KEY MAP
SCALE: 1" = 500'

LEGEND:

	PROPOSED ASPHALT OVERLAY
	PROPOSED ASPHALT SEALING
	PROPOSED ASPHALT SECTION
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED LANDSCAPE ISLAND
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KEY NOTES:

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C.O.W. STANDARDS. SEE DETAILS. |
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REFER TO DETAILS | |
| 12 DETECTIBLE WARNING MAT:
REFER TO DETAILS | |
| 13 HANDICAP RAMP:
REFER TO DETAILS | |



G G PLEASANT LLC
PID: R05000-006-056-000
ADDRESS: 505 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6153 PG 2433

MERLACK DOLORES M
PID: R05000-006-057-000
ADDRESS: 507 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6149 PG 984

MOCASIN CREEK II LLC
PID: R05000-006-058-000
ADDRESS: 509 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 5563 PG 2528

RANDALL DANIEL P KIMBERLY M
PID: R05000-006-059-000
ADDRESS: 511 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 4733 PG 34

OCONNOR YOUNG MICHAEL JR
PID: R05000-006-060-000
ADDRESS: 513 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 3497 PG 104

FLOYD MARSHA ETAL
PID: R05000-006-061-000
ADDRESS: 515 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6093 PG 2182

MEADOWS BRYAN
PID: R05000-006-062-000
ADDRESS: 517 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 4975 PG 2969

SAMUELS SUSAN B TRUSTEE
PID: R05000-006-063-000
ADDRESS: 519 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6184 PG 1304

ADDRESS: 512 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6683 PG 2316

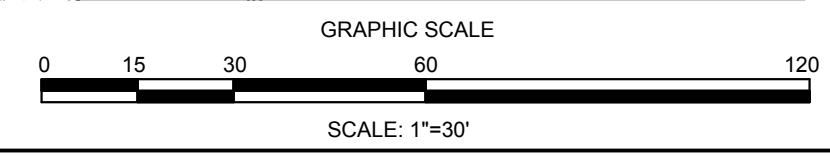
3 HOA INC
383-000
SPRAY DR
IAL DISTRICT
AC
799

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

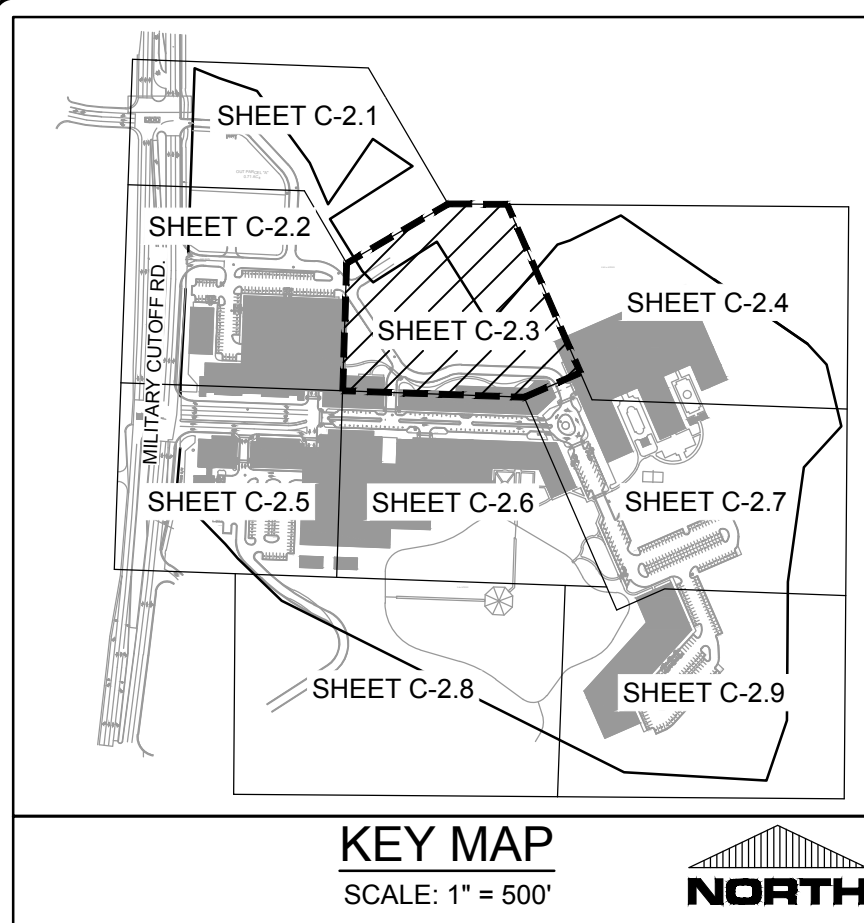
CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>REVISIONS:</p>	
<p>CLIENT INFORMATION: PARAMOUNT ENGINEERING INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6700 (F) NC License #: C-2846</p>	
<p>SITE PLAN CARROLL AT THE AVENUE MILITARY CUTOFF RD WILMINGTON, NC 28405</p>	
<p>PROJECT STATUS: PRELIMINARY LAYOUT: FINAL DESIGN: RELEASED FOR CONSTRUCTION:</p>	<p>DRAWING INFORMATION: DATE: 03/13/18 SCALE: 1" = 30' DRAWN: MRE CHECKED: JEB</p>
<p>SEAL</p>	
<p>C-2.2</p>	
<p>PEI JOB#: 18473.PE</p>	



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

811
Know what's below.
Call before you dig.

NC DENR PWSS WATER PERMIT #: _____

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT #: _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

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CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____

Signed: _____

REVISIONS:

NO.	DATE	DESCRIPTION

CLIENT INFORMATION:

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122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License #: C-2846

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SITE PLAN

CARROLL AT THE AVENUE
MILITARY CUTOFF RD
WILMINGTON, NC 28405

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

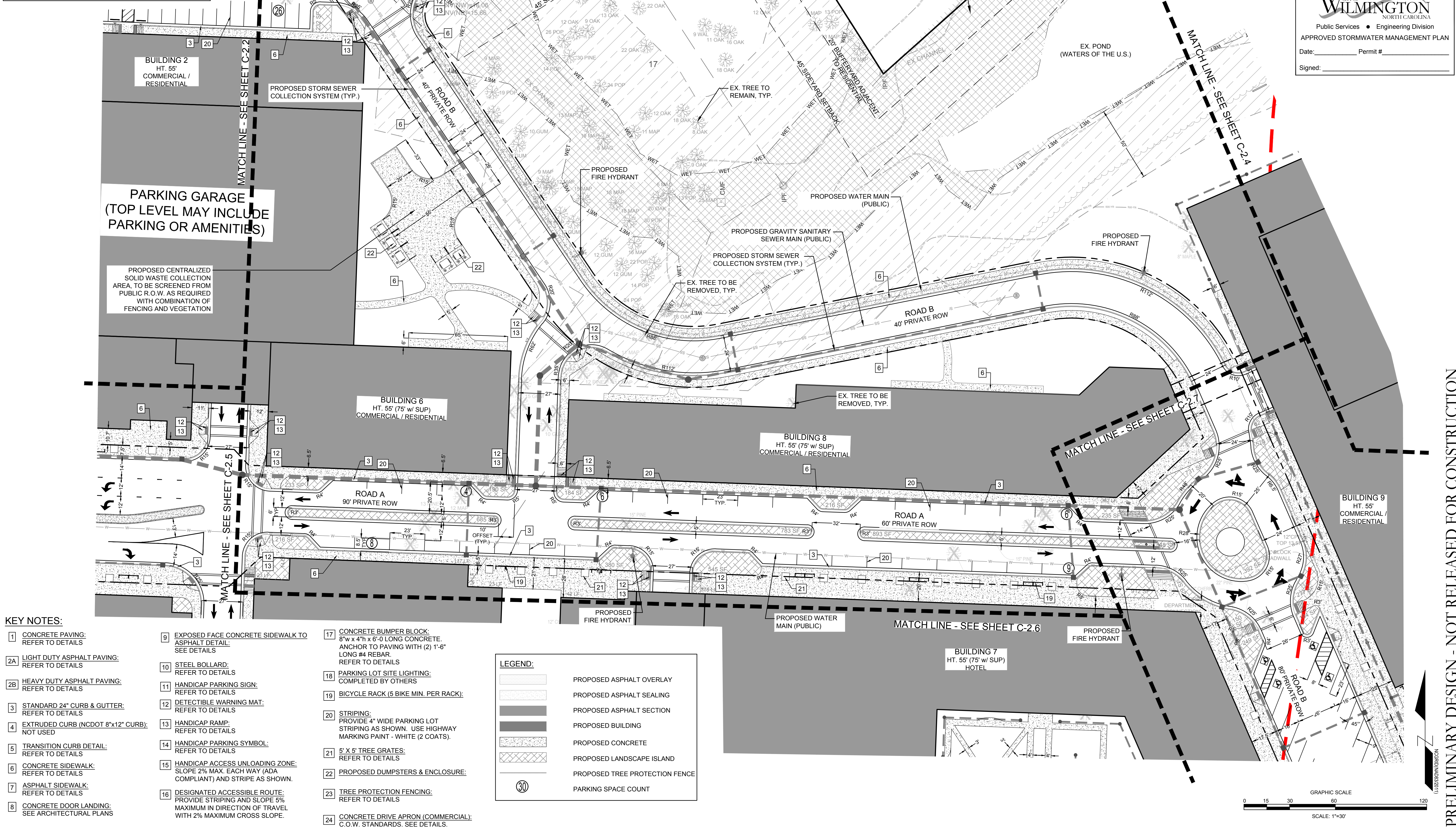
PROJECT STATUS:
PRELIMINARY DESIGN
FINAL DESIGN
PRELIMINARY LAYOUT
RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
DATE: 03/13/18
SCALE: 1" = 30'
DRAWN: [Signature]
CHECKED: [Signature]

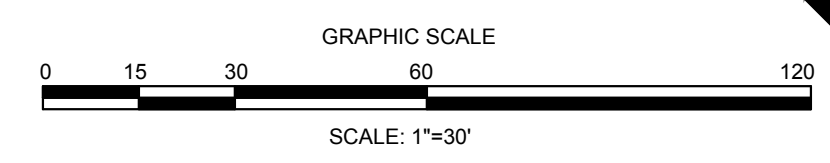
SEAL

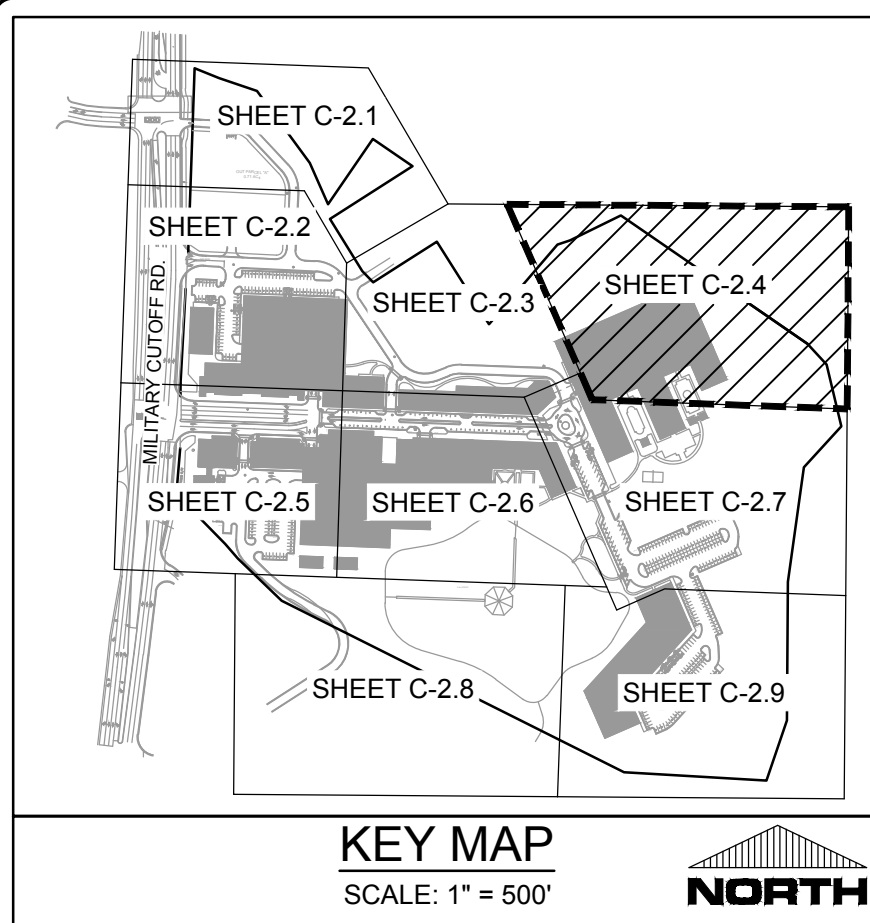
C-2.3

PEI JOB#: 18473.PE



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION





EARL ANDERSON
PID: R05105-001-011-000
ADDRESS: 322 LANCE DRIVE
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-3-AM RES
DB 6184 PG 334

FRANK KENAN/LANDFALLPID:
R05105-007-006-000
ADDRESS: 510 ARBOTETUM DRIVE
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 799-OTH ENTERTAINMENT REC.
DB 2664 PG 451

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____



NCDENR PWSS WATER PERMIT #: _____

WATER CAPACITY: _____ GPD

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SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

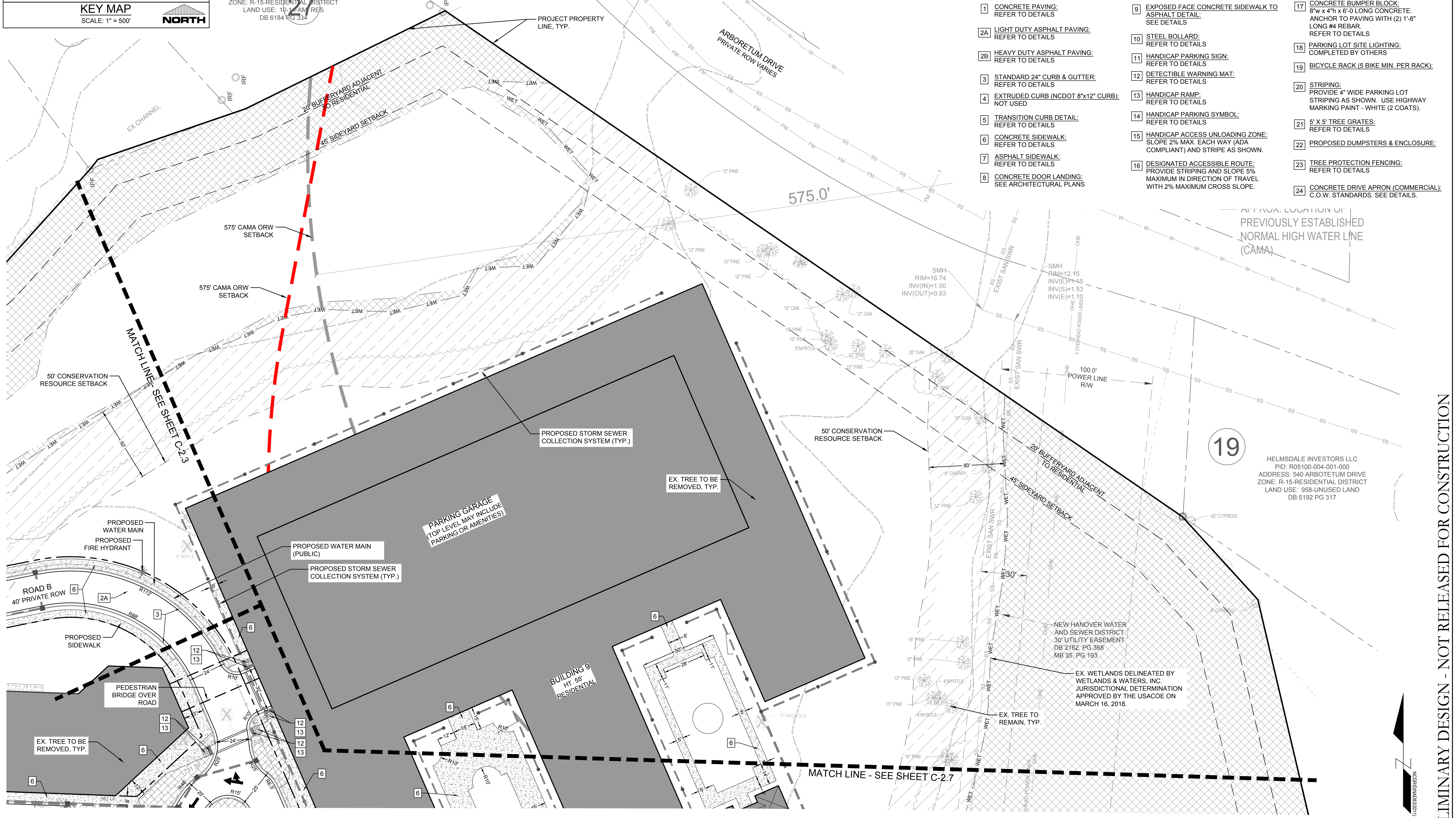
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

LEGEND:

- PROPOSED ASPHALT OVERLAY
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- PROPOSED ASPHALT SECTION
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE ISLAND
- PROPOSED TREE PROTECTION FENCE
- PARKING SPACE COUNT

KEY NOTES:

- 1 CONCRETE PAVING: REFER TO DETAILS
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REVISIONS:

CLIENT INFORMATION:
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(910) 791-6707 (O) (910) 791-4760 (F)
NC License #: C-2846

SITE PLAN
CARROLL AT THE AVENUE
MILITARY CUTOFF RD
WILMINGTON, NC 28405

PROJECT STATUS:
DATE: 03/13/18
SCALE: 1" = 30'
DRAWN: [Signature]
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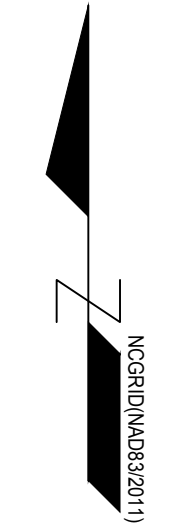
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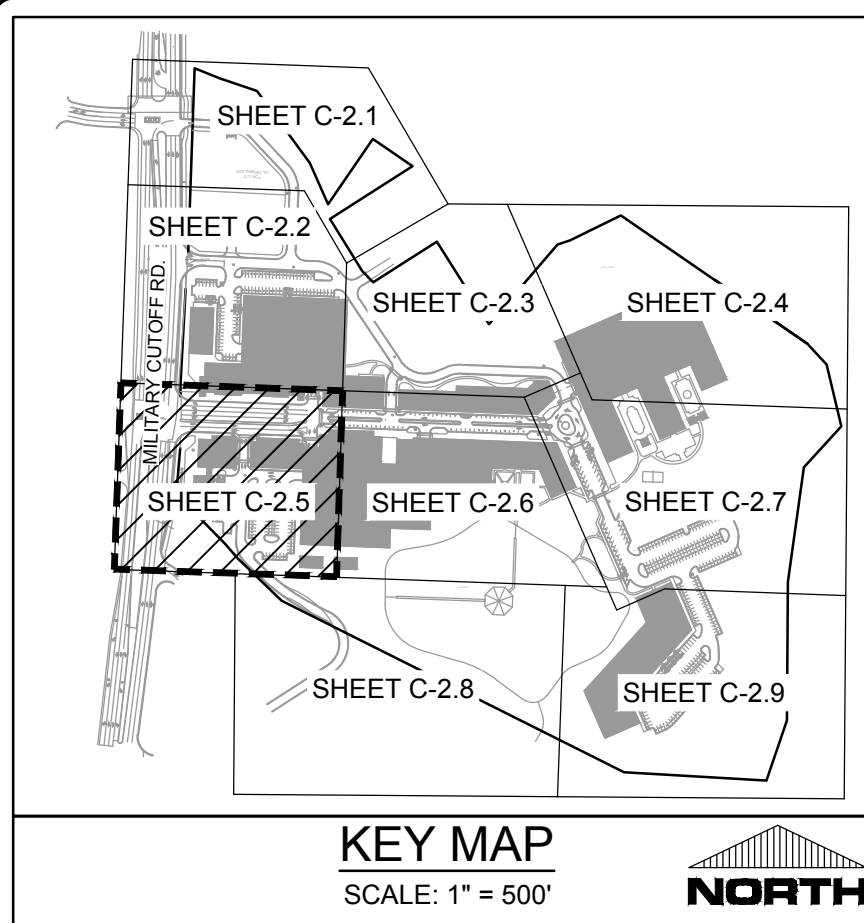
SEAL

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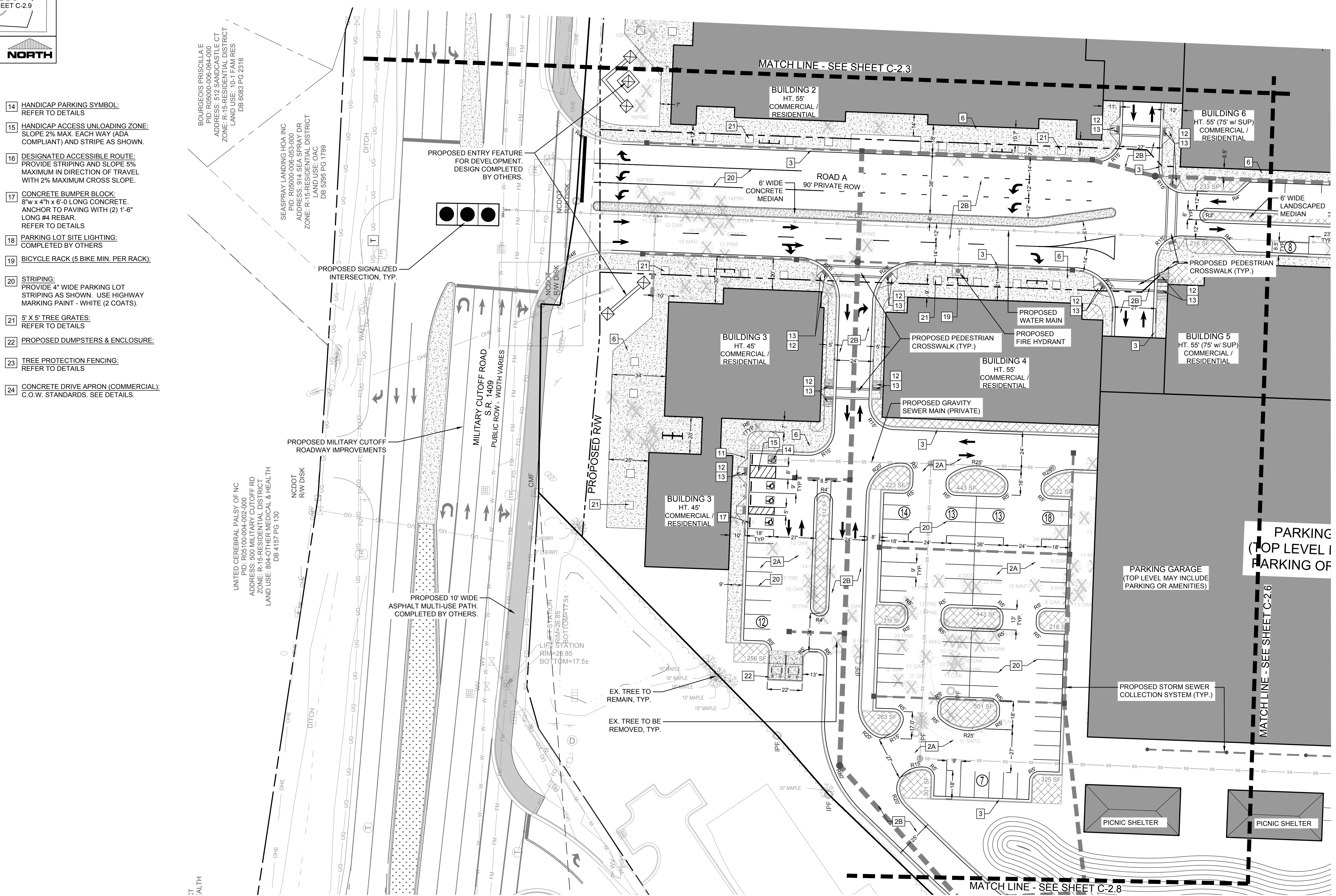
PEI JOB#: 18473.PE

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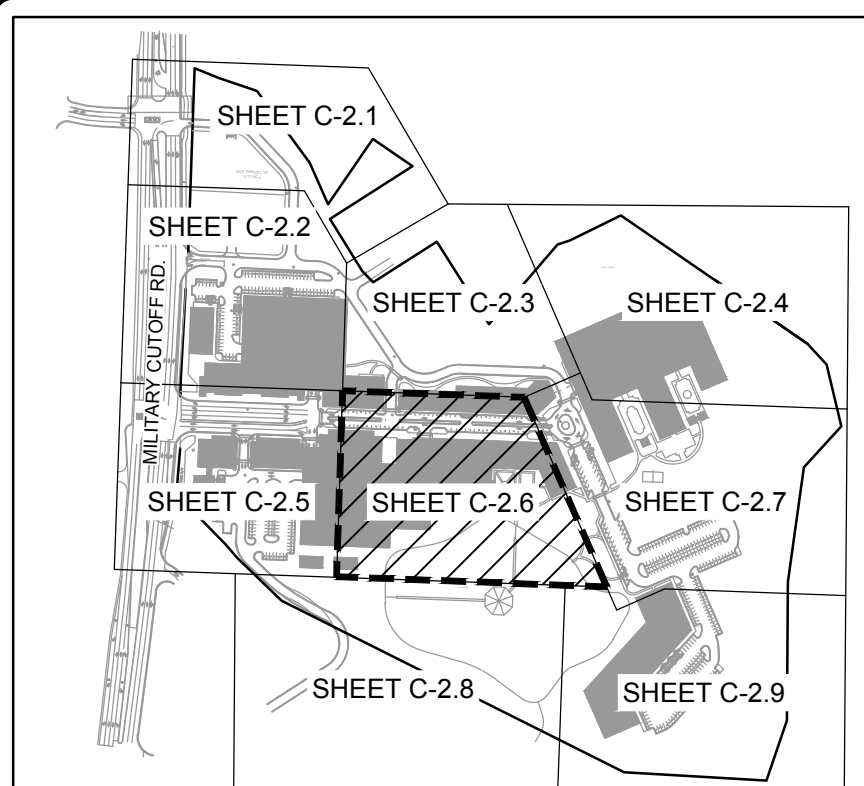


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PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

C-2.5



KEY MAP
SCALE: 1" = 500'

KEY NOTES:

- | | | | |
|---------------------------------------------------|------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|
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REFER TO DETAILS | 8 CONCRETE DOOR LANDING:
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REFER TO DETAILS |
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COMPLETED BY OTHERS | 24 CONCRETE DRIVE APRON (COMMERCIAL):
C.O.W. STANDARDS. SEE DETAILS. |
| 3 STANDARD 24" CURB & GUTTER:
REFER TO DETAILS | 11 HANDICAP PARKING SIGN:
REFER TO DETAILS | 19 BICYCLE RACK (5 BIKE MIN. PER RACK): | |
| 4 EXTRUDED CURB (NCDOT 8"x12" CURB):
NOT USED | 12 DETECTIBLE WARNING MAT:
REFER TO DETAILS | 20 STRIPING:
PROVIDE 4" WIDE PARKING LOT
STRIPING AS SHOWN. USE HIGHWAY
MARKING PAINT - WHITE (2 COATS). | |
| 5 TRANSITION CURB DETAIL:
REFER TO DETAILS | 13 HANDICAP RAMP:
REFER TO DETAILS | 21 5' X 5' TREE GRATES:
REFER TO DETAILS | |
| 6 CONCRETE SIDEWALK:
REFER TO DETAILS | 14 HANDICAP PARKING SYMBOL:
REFER TO DETAILS | | |
| 7 ASPHALT SIDEWALK:
REFER TO DETAILS | 15 HANDICAP ACCESS UNLOADING ZONE:
SLOPE 2% MAX. EACH WAY (ADA
COMPLIANT) AND STRIPE AS SHOWN. | | |

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

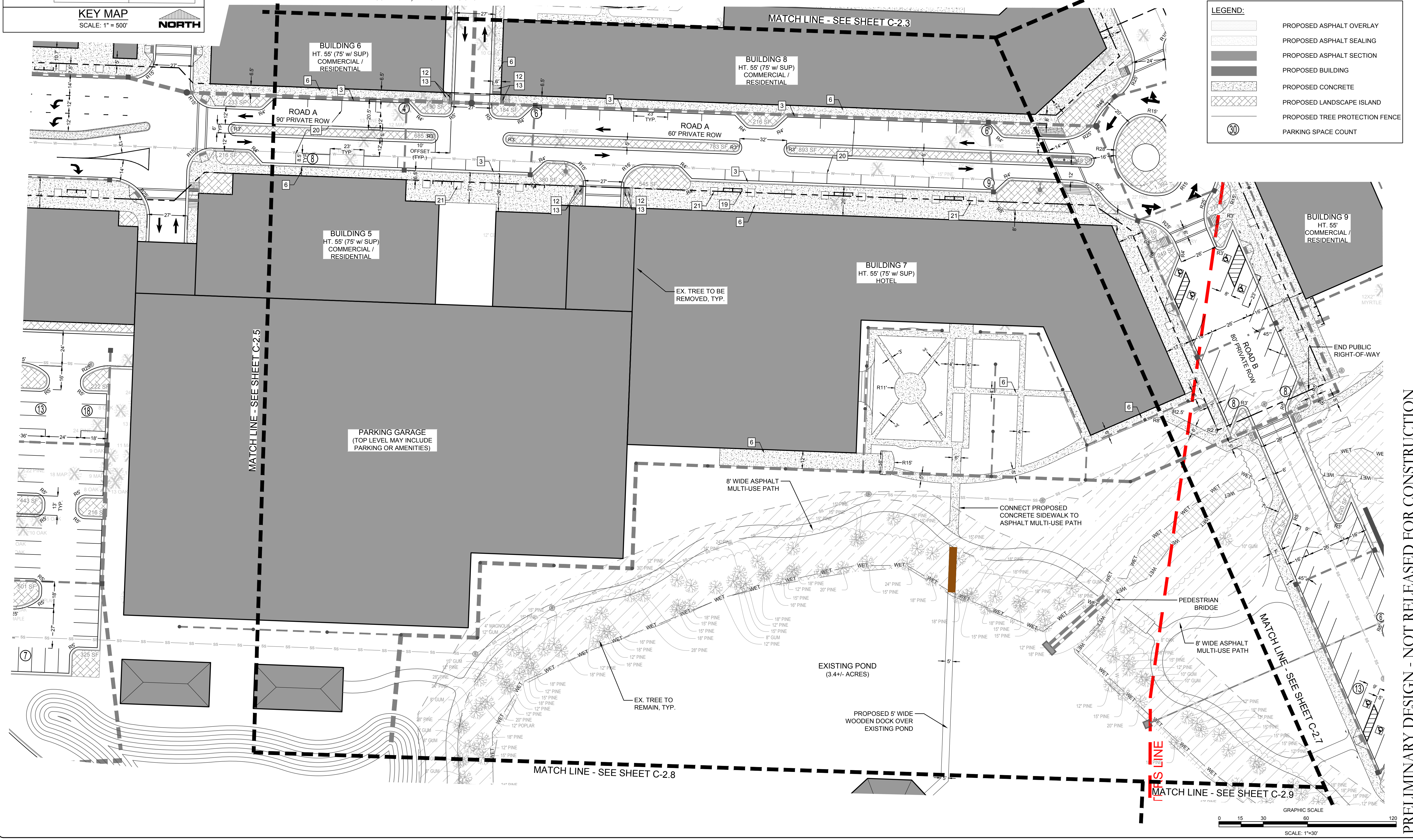


NCDENR PWSS WATER PERMIT #:	_____	_____	_____	_____	_____
WATER CAPACITY:	_____	_____	_____	_____	_____
DWQ SEWER PERMIT #:	_____	_____	_____	_____	_____
SEWER CAPACITY:	_____	_____	_____	_____	_____
SEWER SHED # AND PLANT:	_____	_____	_____	_____	_____
SEWER TO FLOW THROUGH NEI:	YES	OR	NO (CIRCLE ONE)		

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

LEGEND:

- PROPOSED ASPHALT OVERLAY
- PROPOSED ASPHALT SEALING
- PROPOSED ASPHALT SECTION
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE ISLAND
- PROPOSED TREE PROTECTION FENCE
- PARKING SPACE COUNT



REVISIONS:

NO.	DATE	DESCRIPTION

CLIENT INFORMATION:
CIP CONSTRUCTION COMPANY
201 NORTH ELM STREET, STE. 201
GREENSBORO, NC 27401

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License #: C-2846

SITE PLAN
CARROLL AT THE AVENUE
MILITARY CUTOFF RD
WILMINGTON, NC 28405

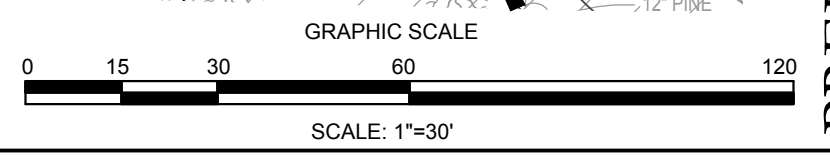
PROJECT STATUS:
DATE: 03/13/18
SCALE: 1" = 30'
DRAWN: [Signature]
CHECKED: [Signature]

SEAL

C-2.6

PEI JOB#: 18473.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

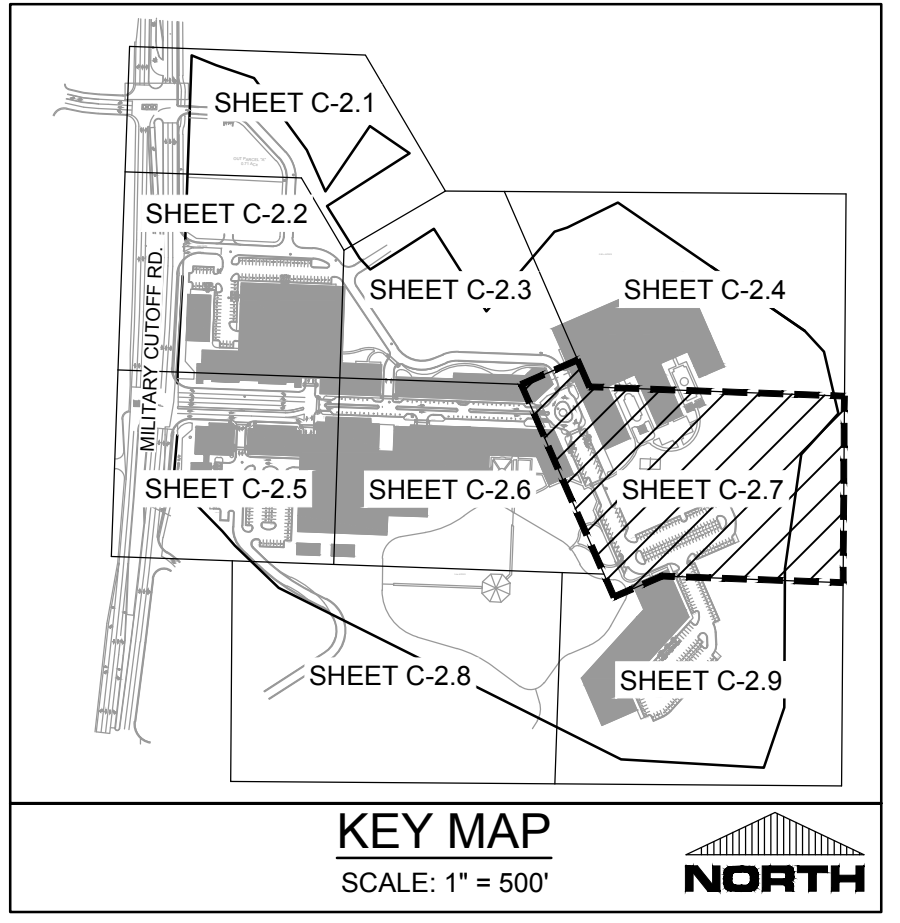




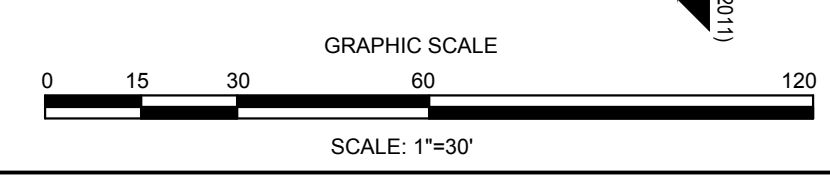
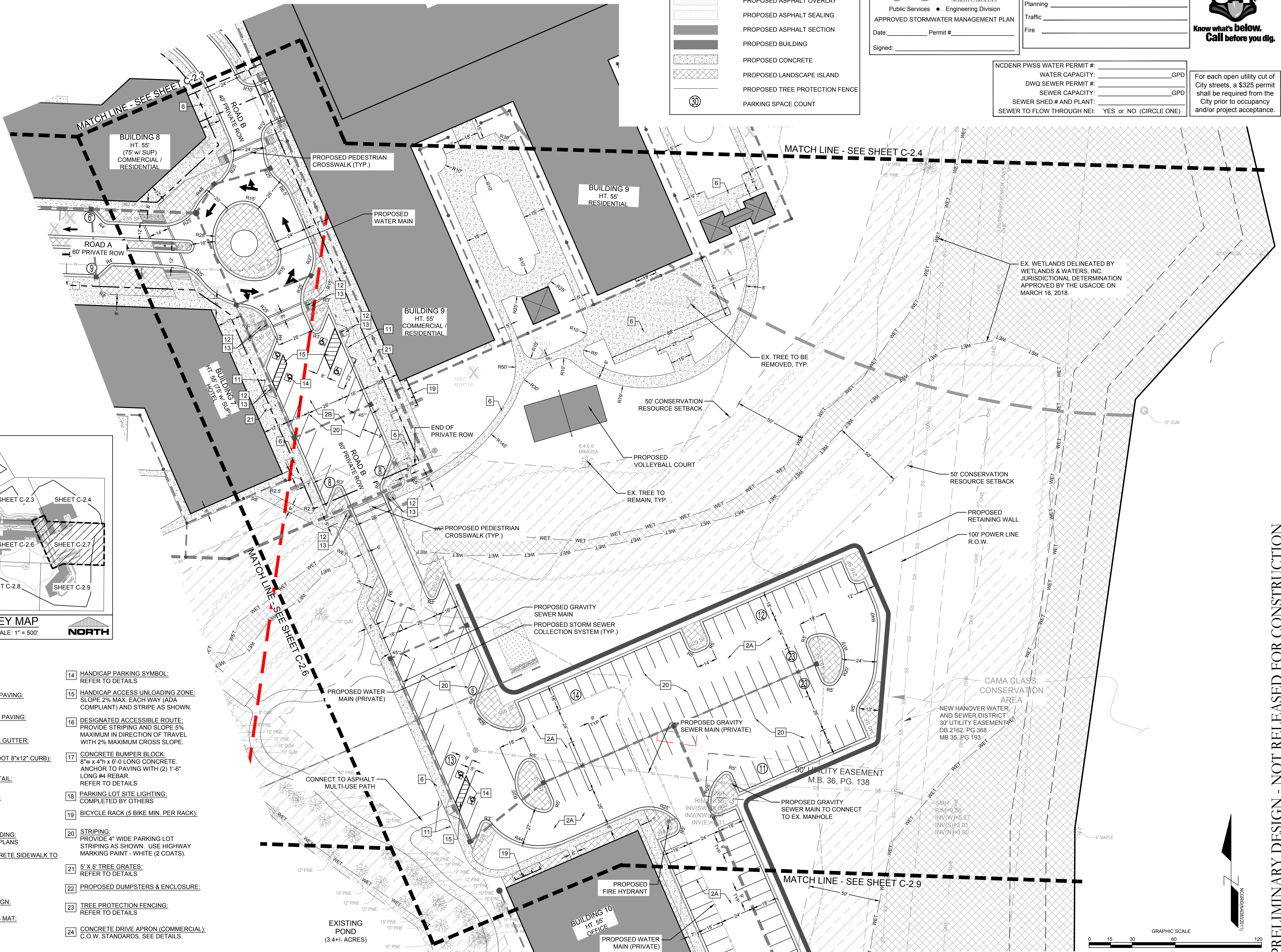
NCDENR PWSS WATER PERMIT #:	_____
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	_____
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)

LEGEND:

	PROPOSED ASPHALT OVERLAY
	PROPOSED ASPHALT SEALING
	PROPOSED ASPHALT SECTION
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED LANDSCAPE ISLAND
	PROPOSED TREE PROTECTION FENCE
	PARKING SPACE COUNT

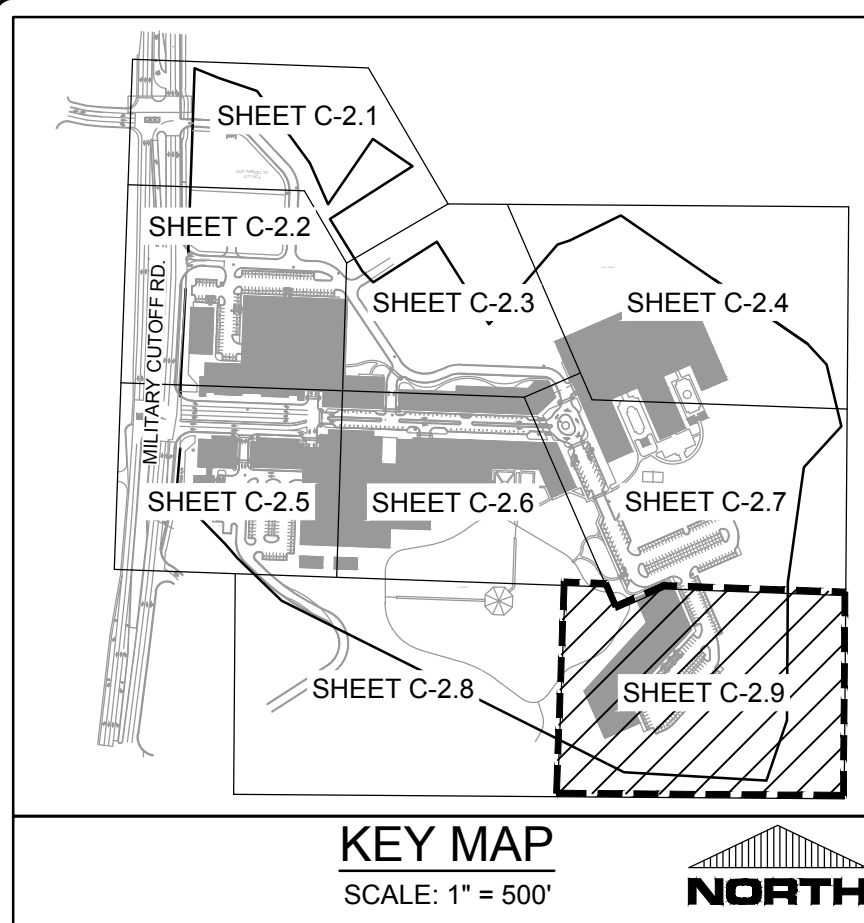


- KEY NOTES:**
- | | |
|--------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|
| 1 CONCRETE PAVING:
REFER TO DETAILS | 14 HANDICAP PARKING SYMBOL:
REFER TO DETAILS |
| 2A LIGHT DUTY ASPHALT PAVING:
REFER TO DETAILS | 15 HANDICAP ACCESS UNLOADING ZONE:
SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. |
| 2B HEAVY DUTY ASPHALT PAVING:
REFER TO DETAILS | 16 DESIGNATED ACCESSIBLE ROUTE:
PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE. |
| 3 STANDARD 24" CURB & GUTTER:
REFER TO DETAILS | 17 CONCRETE BUMPER BLOCK:
8" W x 4" H x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1"-6" LONG #4 REBAR.
REFER TO DETAILS |
| 4 EXTRUDED CURB (NCDOT 8"x12" CURB):
NOT USED | 18 PARKING LOT SITE LIGHTING:
COMPLETED BY OTHERS |
| 5 TRANSITION CURB DETAIL:
REFER TO DETAILS | 19 BICYCLE RACK (5 BIKE MIN. PER RACK): |
| 6 CONCRETE SIDEWALK:
REFER TO DETAILS | 20 STRIPING:
PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS). |
| 7 ASPHALT SIDEWALK:
REFER TO DETAILS | 21 5' X 5' TREE GRATES:
REFER TO DETAILS |
| 8 CONCRETE DOOR LANDING:
SEE ARCHITECTURAL PLANS | 22 PROPOSED DUMPSTERS & ENCLOSURE: |
| 9 EXPOSED FACE CONCRETE SIDEWALK TO ASPHALT DETAIL:
SEE DETAILS | 23 TREE PROTECTION FENCING:
REFER TO DETAILS |
| 10 STEEL BOLLARD:
REFER TO DETAILS | 24 CONCRETE DRIVE APRON (COMMERCIAL):
C.O.W. STANDARDS. SEE DETAILS. |
| 11 HANDICAP PARKING SIGN:
REFER TO DETAILS | |
| 12 DETECTIBLE WARNING MAT:
REFER TO DETAILS | |
| 13 HANDICAP RAMP:
REFER TO DETAILS | |



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS: CLIENT INFORMATION: PARAMOUNT ENGINEERING INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6700 (F) NC License #: C-2846	PROJECT STATUS: PRELIMINARY DESIGN: _____ FINAL DESIGN: _____ PRELIMINARY LAYOUT: _____ RELEASED FOR CONSTRUCTION: _____ DRAWING INFORMATION: DATE: 03/13/18 SCALE: 1" = 30' DRAWN: M.B. 36 CHECKED: M.B. 36
SITE PLAN	CARROLL AT THE AVENUE MILITARY CUTOFF RD WILMINGTON, NC 28405
C-2.7	
PEI JOB#: 18473.PE	



- KEY NOTES:**
- | | |
|--------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------|
| 1 CONCRETE PAVING:
REFER TO DETAILS | 14 HANDICAP PARKING SYMBOL:
REFER TO DETAILS |
| 2A LIGHT DUTY ASPHALT PAVING:
REFER TO DETAILS | 15 HANDICAP ACCESS UNLOADING ZONE:
SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. |
| 2B HEAVY DUTY ASPHALT PAVING:
REFER TO DETAILS | 16 DESIGNATED ACCESSIBLE ROUTE:
PROVIDE STRIPING AND SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE. |
| 3 STANDARD 24" CURB & GUTTER:
REFER TO DETAILS | 17 CONCRETE BUMPER BLOCK:
8" W x 4" H x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1"-6" LONG #4 REBAR. REFER TO DETAILS |
| 4 EXTRUDED CURB (NCDOT 8"x12" CURB):
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COMPLETED BY OTHERS |
| 5 TRANSITION CURB DETAIL:
REFER TO DETAILS | 19 BICYCLE RACK (5 BIKE MIN. PER RACK):
REFER TO DETAILS |
| 6 CONCRETE SIDEWALK:
REFER TO DETAILS | 20 STRIPING:
PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS). |
| 7 ASPHALT SIDEWALK:
REFER TO DETAILS | 21 EMERGENCY VEHICLE LANE MARKING:
NOT APPLICABLE |
| 8 CONCRETE DOOR LANDING:
SEE ARCHITECTURAL PLANS | 22 PROPOSED DUMPSTERS & ENCLOSURE:
REFER TO DETAILS |
| 9 EXPOSED FACE CONCRETE SIDEWALK TO ASPHALT DETAIL:
SEE DETAILS | 23 TREE PROTECTION FENCING:
REFER TO DETAILS |
| 10 STEEL BOLLARD:
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REFER TO DETAILS | |
| 12 DETECTIBLE WARNING MAT:
REFER TO DETAILS | |
| 13 HANDICAP RAMP:
REFER TO DETAILS | |

LEGEND:

	PROPOSED ASPHALT OVERLAY
	PROPOSED ASPHALT SEALING
	PROPOSED ASPHALT SECTION
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED LANDSCAPE ISLAND
	PROPOSED TREE PROTECTION FENCE
	PARKING SPACE COUNT

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____



NCDENR PWSS WATER PERMIT #: _____ GPD

WATER CAPACITY: _____ GPD

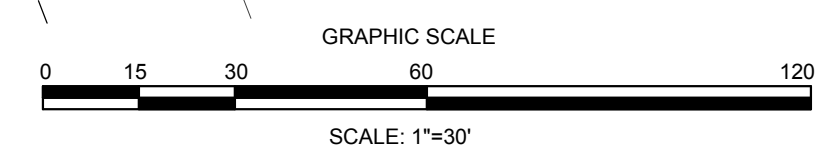
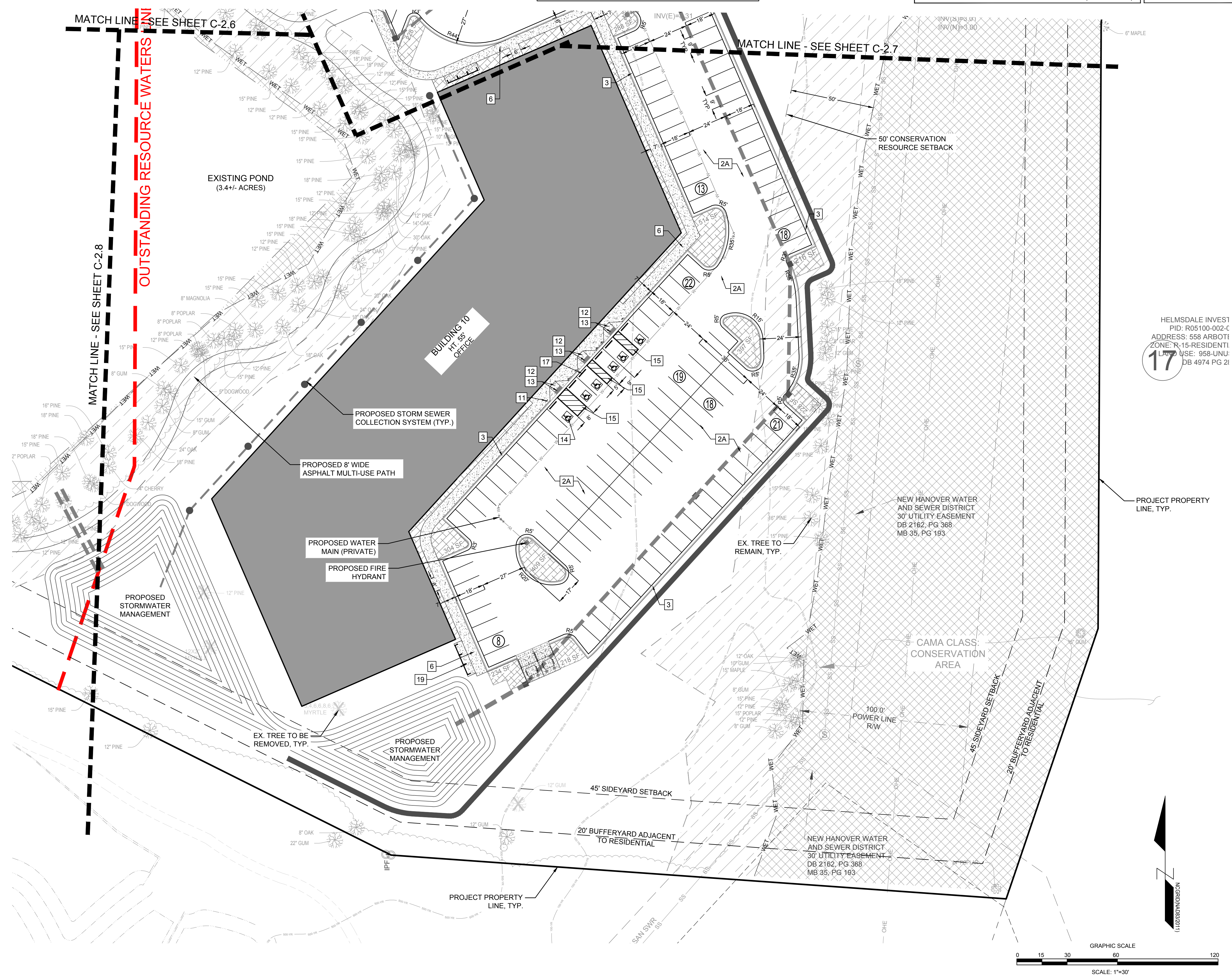
DWQ SEWER PERMIT #: _____ GPD

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

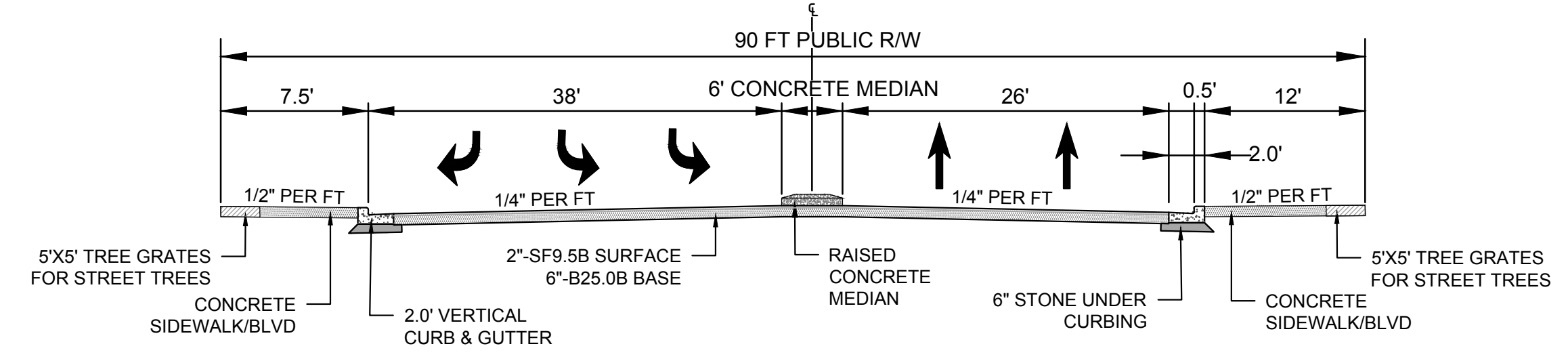


PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>REVISIONS:</p>	<p>CLIENT INFORMATION:</p> <p>PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28405 (910) 791-6707 (O) (910) 791-6700 (F) NC License #: C-2846</p>
<p>PROJECT STATUS:</p> <p>DATE: 03/13/18 SCALE: 1"=30' DRAWN: MFB CHECKED: RFB</p>	<p>SITE PLAN</p> <p>CARROLL AT THE AVENUE MILITARY CUTOFF RD WILMINGTON, NC 28405</p>
<p>SEAL</p>	<p>PEI JOB#: 18473.PE</p>

NCDENR PWSS WATER PERMIT #:	_____
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	_____
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

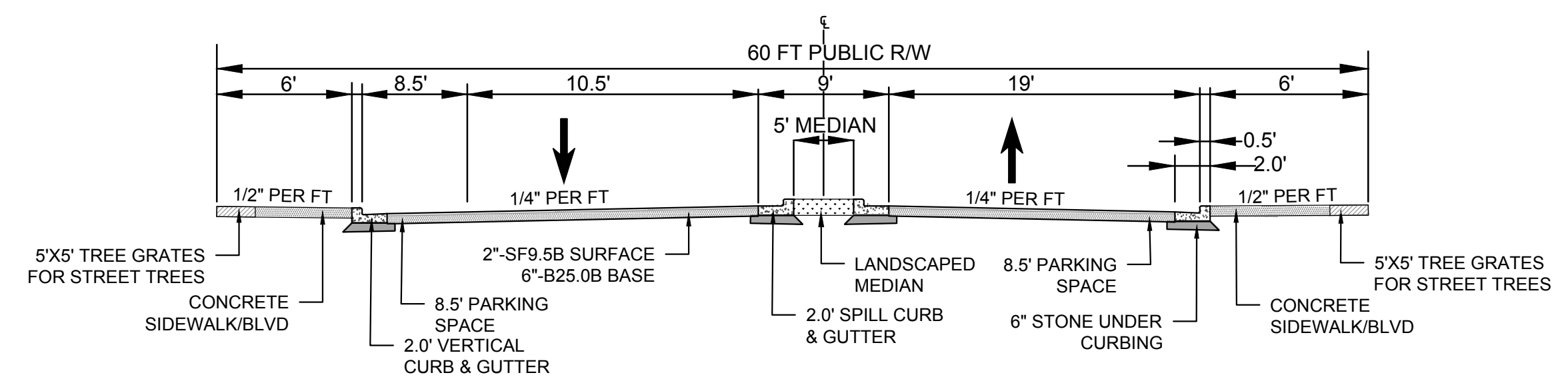
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



ROAD A - MAIN ENTRANCE

TYP. CROSS SECTION

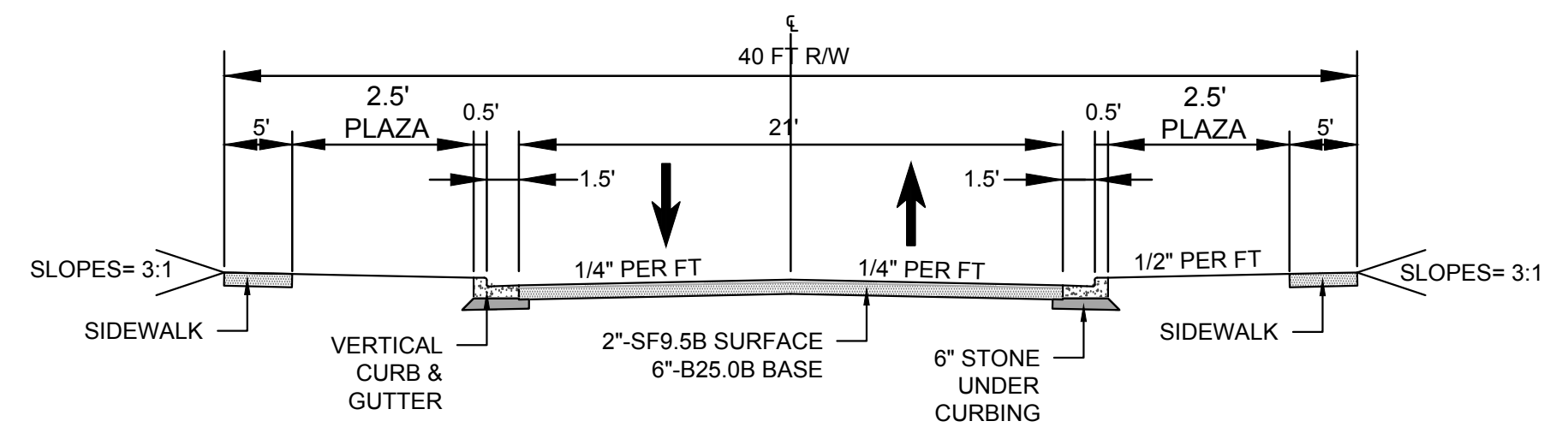
 NOT TO SCALE



ROAD A - ON-STREET PARKING

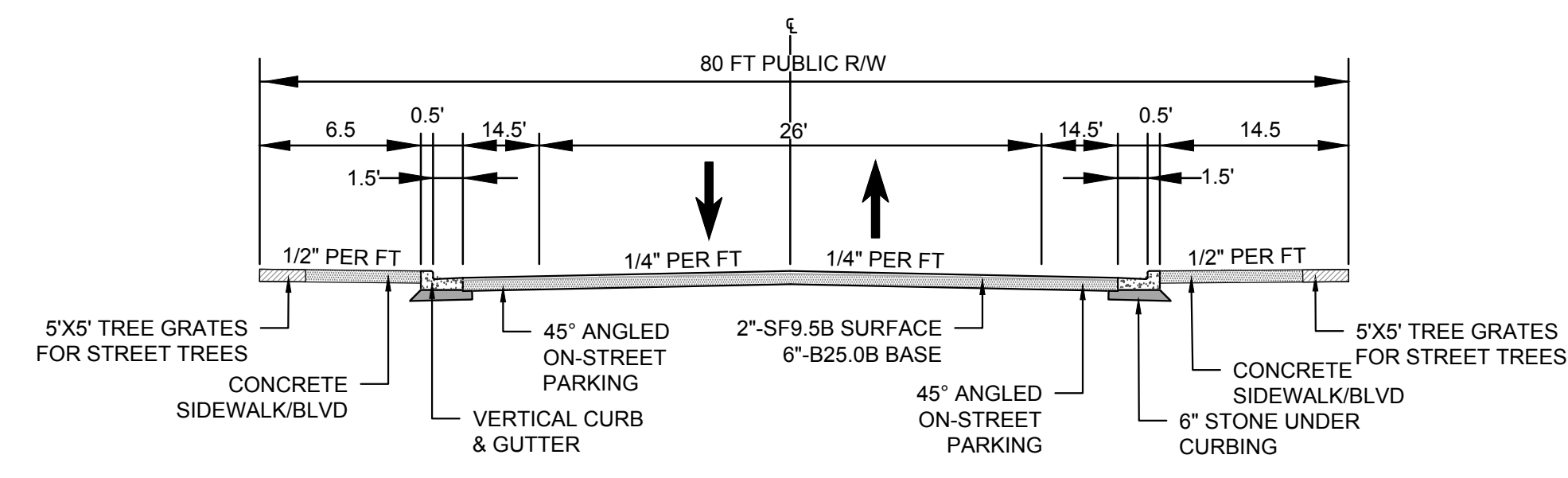
TYP. CROSS SECTION

 NOT TO SCALE



ROAD B - TYP. CROSS SECTION

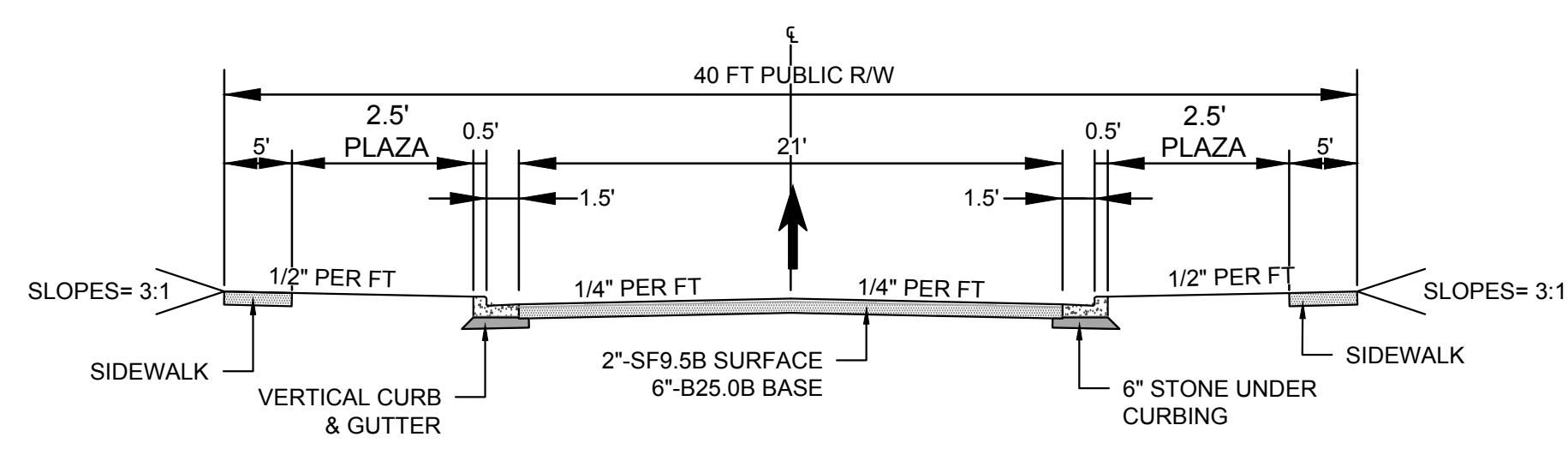
 NOT TO SCALE



ROAD B - ON-STREET PARKING

TYP. CROSS SECTION

 NOT TO SCALE



ROAD C - ONE-WAY

TYP. CROSS SECTION

 NOT TO SCALE

REVISIONS:

CLIENT INFORMATION:

 CIP CONSTRUCTION COMPANY

 201 NORTH ELM STREET, STE. 201

 GREENSBORO, NC 27401

PARAMOUNT

 ENGINEERING, INC.

 122 Cinema Drive

 Wilmington, North Carolina 28405

 (910) 791-6707 (O) (910) 791-6700 (F)

 NC License #: C-2846

TYPICAL ROAD CROSS SECTIONS

 CARROLL AT THE AVENUE

 MILITARY CUTOFF RD

 WILMINGTON, NC 28405

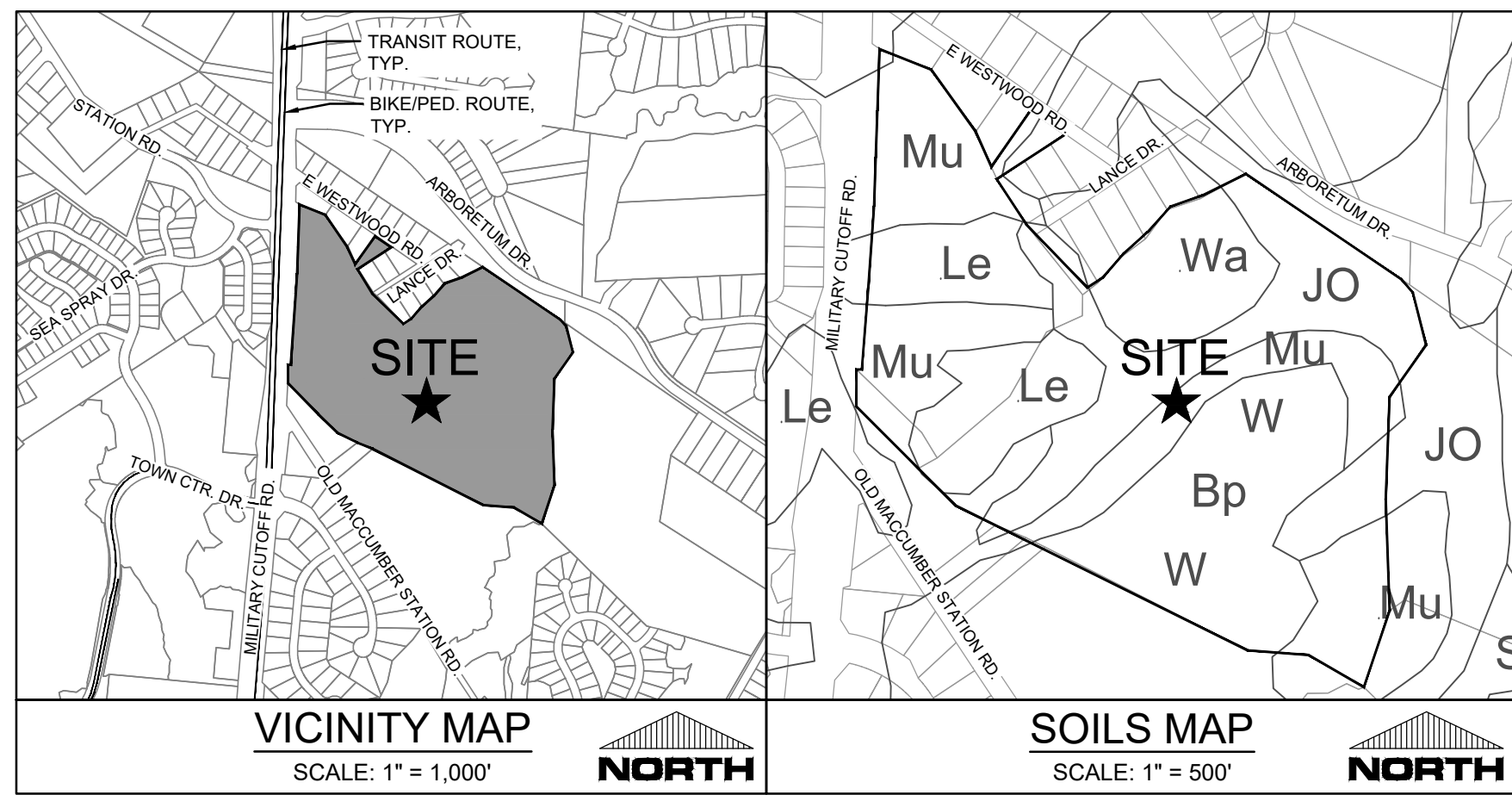
PROJECT STATUS	03/13/18
DESIGNED BY	1" = 30'
DRAWN BY	PEI
CHECKED BY	PEI

SEAL

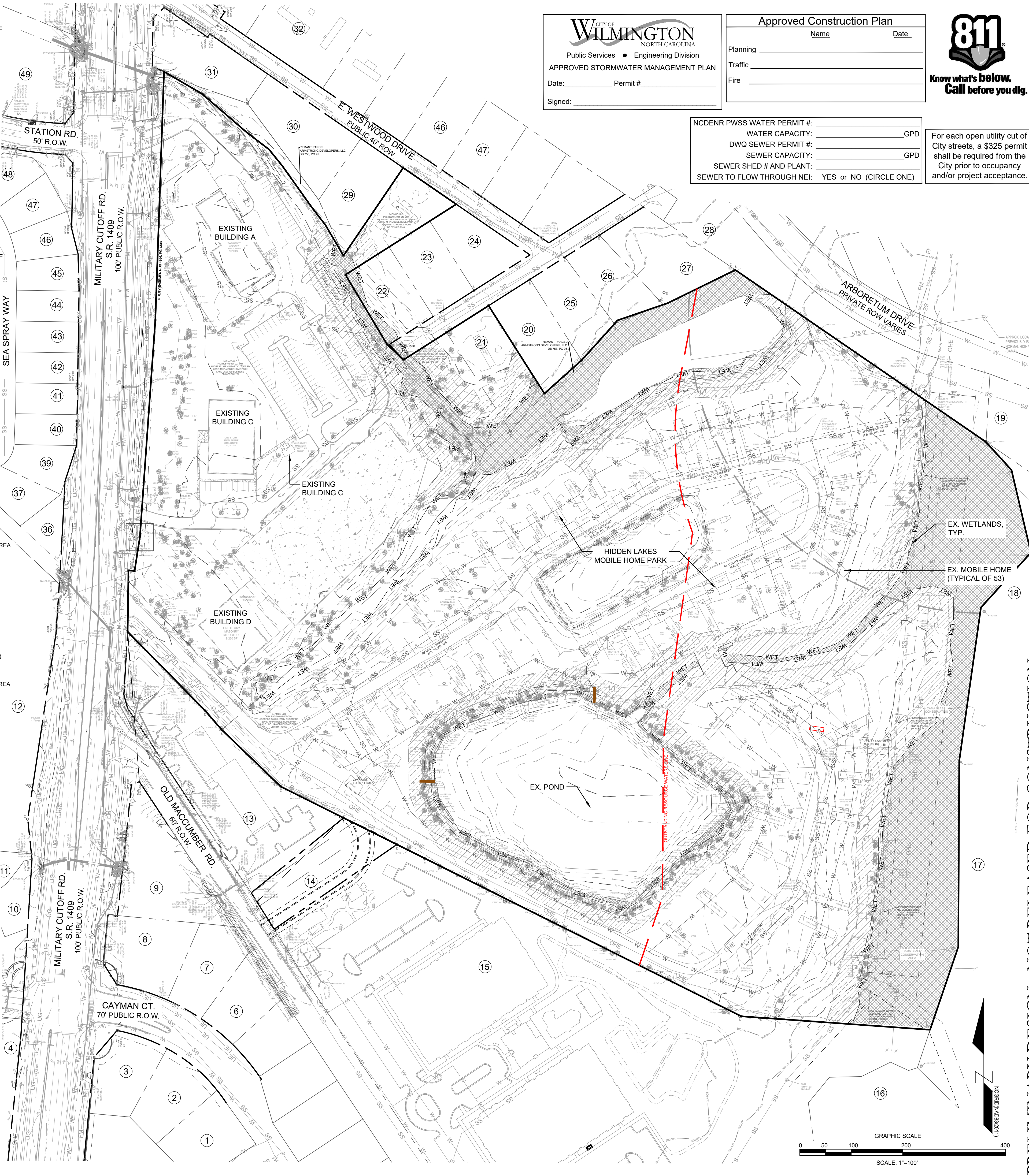
C-2.10

 PEI JOB#: 18473.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



- ADJACENT PROPERTY OWNERS KEY MAP**
- EVANS ALLISON L
PID: R05100-003-000-000
ADDRESS: 7008 CAYMAN CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 5798 PG 591
 - BARNES BRETT ALAN SUSAN WILLIAMS
PID: R05100-003-058-000
ADDRESS: 7004 CAYMAN CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 5625 PG 1342
 - ELIUS ROBERT D THERESA R
PID: R05100-003-059-000
ADDRESS: 7000 CAYMAN CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 4413 PG 117
 - NC AGRICULTURAL FOUNDATION INC
PID: R05000-003-041-000
ADDRESS: 0 MILITARY CUTOFF RD
ZONE: MX-MX
LAND USE: 958-UNUSED LAND
DB 4957 PG 446
 - MAYFAIRE COMMUNITY ASSN (HOA)
PID: R05000-003-035-000
ADDRESS: 0 MILITARY CUTOFF RD
ZONE: MX-MX
LAND USE: 961-CONDO COMMON AREA
DB 4960 PG 2442
 - WOLFE JUSTIN B MELISSA R
PID: R05100-003-009-000
ADDRESS: 7005 CAYMAN CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RE
DB 5902 PG 585
 - RIVENBARK GREGG DAPHNE
PID: R05100-003-008-000
ADDRESS: 7003 CAYMAN CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 5710 PG 673
 - SG MOFFITT ENTERPRISES LLC
PID: R05100-003-060-000
ADDRESS: 516 OLD MCCUMBER STAT. RD
ZONE: O&I-OFFICE & INSTITUTION
LAND USE: 802-DENTAL SERVICE
DB 574 PG 1789
 - HARRIS RONEY H
PID: R05100-003-007-000
ADDRESS: 7001 CAYMAN CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6139 PG 974
 - NC AGRICULTURAL FOUNDATION INC
PID: R05000-003-041-000
ADDRESS: 0 MILITARY CUTOFF RD
ZONE: MX-MX
LAND USE: 958-UNUSED LAND
DB 4957 PG 446
 - VILLAGE AT MAYFAIRE COA INC
PID: R05000-003-122-000
ADDRESS: 6913 MAYFAIRE CLUB DR
ZONE: MX-MX
LAND USE: 961-CONDO COMMON AREA
DB 6120 PG 1943
 - UNITED CEREAL PALSRY OF NC
PID: R05100-004-002-000
ADDRESS: 500 MILITARY CUTOFF RD
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 804-OTHER MEDICAL & HEALTH
DB 4157 PG 130
 - MCCUMBER STATION OFF CNT POA
PID: R05100-002-003-000
ADDRESS: 576 MILITARY CUTOFF RD
ZONE: O&I-OFFICE & INSTITUTION
LAND USE: 961-CONDO COMMON AREA
DB 4951 PG 145
 - GKMJ PROPERTIES, LLC
PID: R05100-002-005-000
ADDRESS: 519 OLD MCCUMBER STATION RD.
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 958-UNUSED LAND
DB 5167 PG 1086
 - HAWTHORNE MIDWAY WILM. LLC
PID: R05100-002-007-000
ADDRESS: 527 OLD MCCUMBER STATION RD.
ZONE: MF-M MULTI FAMILY MED. DENSITY
LAND USE: 12-3-FAMILY RESIDENTIAL
DB 5688 PG 2976
 - NORTHEAST NEW HANOVER CONSERVANCY
PID: R05100-002-129-000
ADDRESS: 709 OLD MCCUMBER STAT. RD.
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 958-UNUSED LAND
DB 5710 PG 2963
 - HELMSDALE INVESTORS LLC
PID: R05100-002-011-000
ADDRESS: 559 ARBOTETUM DRIVE
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 958-UNUSED LAND
DB 4914 PG 2022
 - VIOLET WARD ESTATE
PID: R05105-001-014-000
ADDRESS: 310 LANCE DRIVE
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 1713 PG 1090
 - MCO LLC
PID: R05105-001-015-000
ADDRESS: 306 LANCE DRIVE
ZONE: MHP-MOBILE HOME PARK
LAND USE: 13-MOBILE HOME
DB 6076 PG 2293
 - YVONNE HALL
PID: R05105-001-016-000
ADDRESS: 301 LANCE DRIVE
ZONE: MHP-MOBILE HOME PARK
LAND USE: 13-MOBILE HOME
DB 3147 PG 334
 - GREGORY HALL
PID: R05105-001-017-000
ADDRESS: 303 LANCE DRIVE
ZONE: MHP-MOBILE HOME PARK
LAND USE: 13-MOBILE HOME
DB 2856 PG 529
 - JIMMYDOT LLC
PID: R05105-001-018-000
ADDRESS: 138 E. WESTWOOD DRIVE
ZONE: MHP-MOBILE HOME PARK
LAND USE: 13-MOBILE HOME
DB 5602 PG 1071
 - WILLIAM LYNCH
PID: R05105-001-013-000
ADDRESS: 314 LANCE DRIVE
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 5182 PG 2896
 - WILLIAM LYNCH
PID: R05105-001-012-000
ADDRESS: 318 LANCE DRIVE
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 5956 PG 134
 - EARL ANDERSON
PID: R05105-001-011-000
ADDRESS: 322 LANCE DRIVE
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6184 PG 334
 - FRANK KENAN/LANDFALLPID:
R05105-007-009-000
ADDRESS: 510 ARBOTETUM DRIVE
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 799-OTHER
AND ENTERTAINMENT REC.
DB 2664 PG 451
 - JOHN BYRD
PID: R05105-001-020-000
ADDRESS: 124 E. WESTWOOD DRIVE
ZONE: MHP-MOBILE HOME PARK
LAND USE: 10-1 FAM RES
DB 5575 PG 2842
 - NORRIS SHIRLEY RUTH TRUST
PID: R05105-001-022-000
ADDRESS: 112 E WESTWOOD DR
ZONE: MHP-MOBILE HOME PARK
LAND USE: 13-MOBILE HOME
DB 17E PG 143
 - HALL W GREGORY SARAH F
PID: R05105-001-021-000
ADDRESS: 123 E WESTWOOD DR
ZONE: MHP-MOBILE HOME PARK
LAND USE: 13-MOBILE HOME
DB 3693 PG 935
 - G G PLEASANT LLC
PID: R05000-006-050-000
ADDRESS: 505 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6153 PG 2433
 - RANDOLPH JANE A PEYTON
PID: R05000-006-055-000
ADDRESS: 503 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 5981 PG 902
 - BULLOCK GREGORY T DANIELLE N
PID: R05000-006-054-000
ADDRESS: 501 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 5993 PG 2698
 - STATION PLACE POA INC
PID: R05100-001-001-000
ADDRESS: 219 STATION RD
ZONE: O&I-OFFICE & INSTITUTION
LAND USE: 961-CONDO COMMON AREA
DB 5641 PG 2097
 - SEASPRAY LANDING HOA INC
PID: R05000-006-053-000
ADDRESS: 0 SEA SPRAY DR
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: OAC
DB 5295 PG 1799
 - BOURGEOIS PRISCILLA E
PID: R05000-006-054-000
ADDRESS: 519 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6083 PG 2316
 - MAYFAIRE COMMUNITY ASSN (HOA)
PID: R05000-003-004-000
ADDRESS: 0 NEW KENT DR
ZONE: MX-MX
LAND USE: 961-CONDO COMMON AREA
DB 4960 PG 2442
 - SAMUELS SUSAN B TRUSTEE
PID: R05000-006-059-000
ADDRESS: 519 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 4184 PG 1304
 - MEADOWS BRYAN
PID: R05000-008-062-000
ADDRESS: 517 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 4975 PG 2969
 - FLOYD MARSHA ETAL
PID: R05000-006-061-000
ADDRESS: 515 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6093 PG 2182
 - O'CONNOR YOUNG MICHAEL JR
PID: R05000-008-060-000
ADDRESS: 513 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 3497 PG 104
 - RANDALL DANIEL P KIMBERLY M
PID: R05000-006-063-000
ADDRESS: 511 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 4753 PG 34
 - MCCASIN CREEK II LLC
PID: R05000-006-064-000
ADDRESS: 509 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 5563 PG 2528
 - MERLACK DOLORES M
PID: R05000-006-057-000
ADDRESS: 507 SANDCASTLE CT
ZONE: R-15-RESIDENTIAL DISTRICT
LAND USE: 10-1 FAM RES
DB 6149 PG 984
 - POWELL JAMES D JANICE L
PID: R05105-001-007-000
ADDRESS: 129 EASTWOOD DR
ZONE: MHP MOBILE HOME PARK
LAND USE: 13-MOBILE HOME
DB 3945 PG 112
 - POWELL JAMES D JANICE L
PID: R05105-001-008-000
ADDRESS: 131 EASTWOOD DR
ZONE: MHP MOBILE HOME PARK
LAND USE: 13-MOBILE HOME
DB 1449 PG 0957



WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____



NC DENR PWSS WATER PERMIT #: _____

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT #: _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

SITE INVENTORY DATA

- PREPARER OF THE PLAN: PARAMOUNT ENGINEERING
122 CINEMA DRIVE
WILMINGTON, NC 28403
- APPLICANT NAME: CIP CONSTRUCTION COMPANY
201 NORTH ELM ST., SUITE 201
GREENSBORO, NC 27401
- SITE ADDRESS: 347 MILITARY CUTOFF RD.
349 MILITARY CUTOFF RD.
565 MILITARY CUTOFF RD.
302 LANCE DRIVE
306 LANCE DRIVE
128 E. WESTWOOD DR.
WILMINGTON, NC 28405
- PROPERTY OWNER: 347 MCO, LLC
201 NORTH ELM ST., SUITE 201
GREENSBORO, NC 27401
- DEVELOPER: SAME AS APPLICANT
- PROPERTY BOUNDARY: SEE PLAN
- ZONING: UMX (CD) - MIXED USE
- ADJACENT PROPERTY INFORMATION (OWNER AND ZONING): SEE PLAN
- VICINITY MAP: SEE MAP ABOVE
- TOPOGRAPHY: SEE PLAN
- 100 YEAR FLOOD PLAIN BOUNDARY: PORTIONS OF THE SUBJECT PARCEL LIE WITHIN FLOOD ZONE X (MINIMAL FLOOD RISK) & FLOOD ZONE AE AS INDICATED BY FEMA FLOOD ZONE MAP NUMBER 3720315800K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.
- LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS: SEE PLAN
- SOILS: MURVILLE FINE SAND (Mu)
LEON SAND (Ls)
SEAGATE FINE SAND (Se)
WAKULLA SAND (Wa)
JOHNSTON SOILS (JO)
(SEE SOILS MAP ABOVE)
- CAMA AEC & ASSOCIATED SETBACKS: - 575' AEC SETBACK
- 30' BUFFER FROM MHV/NHW
- CAMA LAND CLASSIFICATION: WATERSHED PROTECTION CONSERVATION AREA
A PORTION OF THE SITE IS LOCATED WITHIN THE 575' OUTSTANDING RESOURCE WATER (ORW) AREA OF ENVIRONMENTAL CONCERN (AEC) AND WILL REQUIRE A CAMA MAJOR PERMIT.
- CONSERVATION RESOURCES: - 50' COD SETBACK FROM FRESHWATER MARSH / 404 WETLANDS
- 100' COD SETBACK FROM BRACKISH / COASTAL MARSH AND PNA
- 35' VEGETATIVE BUFFER FROM BRACKISH / COASTAL MARSH AND PNA
- LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE: N/A
- LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS: N/A
- SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES: N/A
- SECTION 404 WETLANDS AND SECTION 10 WATERS: REFERENCE #14 AND #16 ABOVE
- PROTECTED SPECIES OR HABITAT: N/A
- THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING AND PROPOSED): SEE PLAN & VICINITY MAP

EXISTING BUILDING INVENTORY

BUILDING A	13,183 SF
BUILDING B	13,022 SF
BUILDING C	308 SF
BUILDING D	9,230 SF
(53) MOBILE HOMES	50,037 SF
EXISTING BUILDINGS	
TOTAL SQUARE FOOTAGE	85,760 SF

REVISIONS:

CLIENT INFORMATION:
CIP CONSTRUCTION COMPANY
201 NORTH ELM STREET, STE. 201
GREENSBORO, NC 27401

PARAMOUNT ENGINEERING INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License #: C-2846

SITE INVENTORY PLAN
CARROLL AT THE AVENUE
MILITARY CUTOFF RD
WILMINGTON, NC 28405

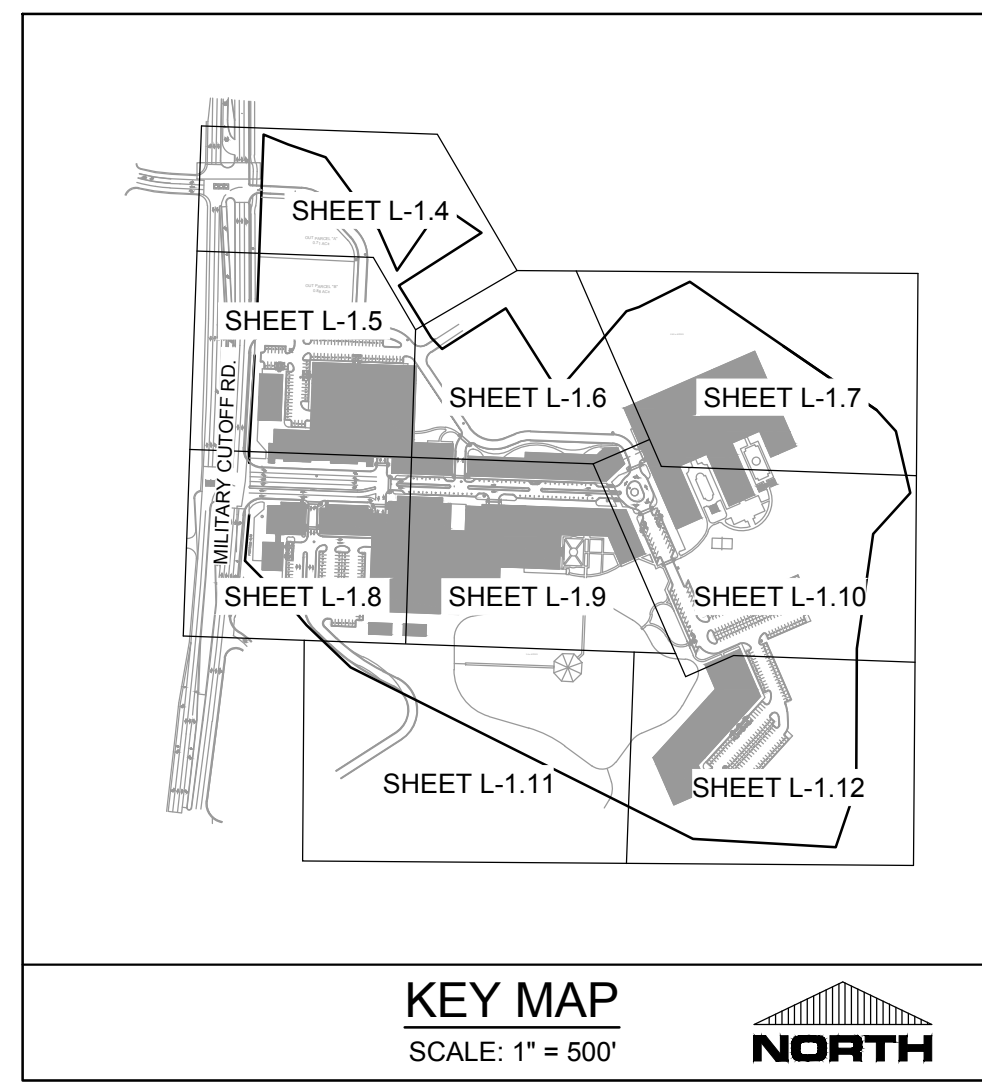
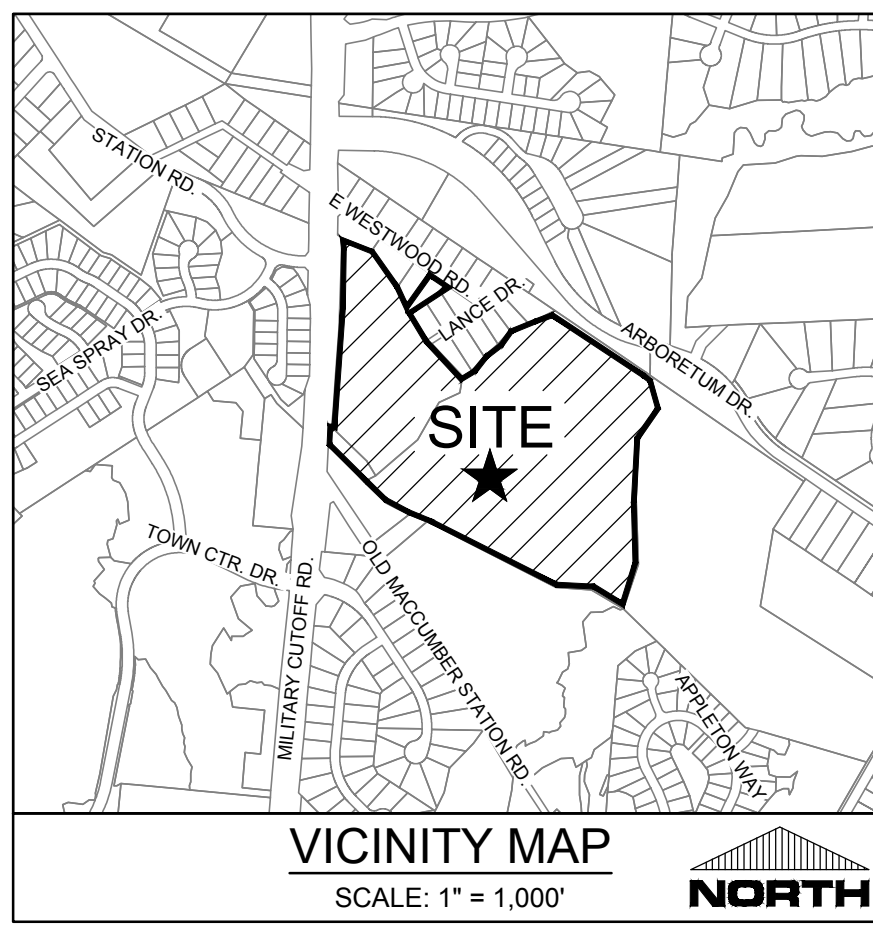
PROJECT STATUS:
PRELIMINARY LAYOUT
FINAL DESIGN
RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
DATE: 03/13/18
SCALE: 1"=100'
DRAWN: JAE
CHECKED: JAE

SEAL

C-2.11
PEI JOB#: 18473.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE DATA TABULATION

APPLICANT: DENNIS H. BURTON, PE
CIP CONSTRUCTION COMPANY
201 NORTH ELM STREET, SUITE 201
GREENSBORO, NC 27401

PROJECT ADDRESS: 347 MILITARY CUTOFF RD.
349 MILITARY CUTOFF RD.
565 MILITARY CUTOFF RD.
302 LANCE DRIVE
306 LANCE DRIVE
128. E. WESTWOOD DR.
WILMINGTON, NC 28405

TAX PARCEL ID #: R05105-001-023-000
R05105-002-008-000
R05105-001-024-000
R05105-001-015-000
R05105-001-015-001
R05105-001-019-000

DEED REFERENCE: DB 1335 PG 019, DB 5619 PG 1573, DB 1220
PG 1622, DB 5949 PG 965, DB 2587 PG 146,
DB 9901 PG 501

TOTAL SITE AREA: 44.5 +/- ACRES (1,938,420 SF)
CURRENT ZONING: UMX (CD)
THE SITE IS A DESIGNATED AREA OF HIGH
INTENSITY FROM THE COMP PLAN

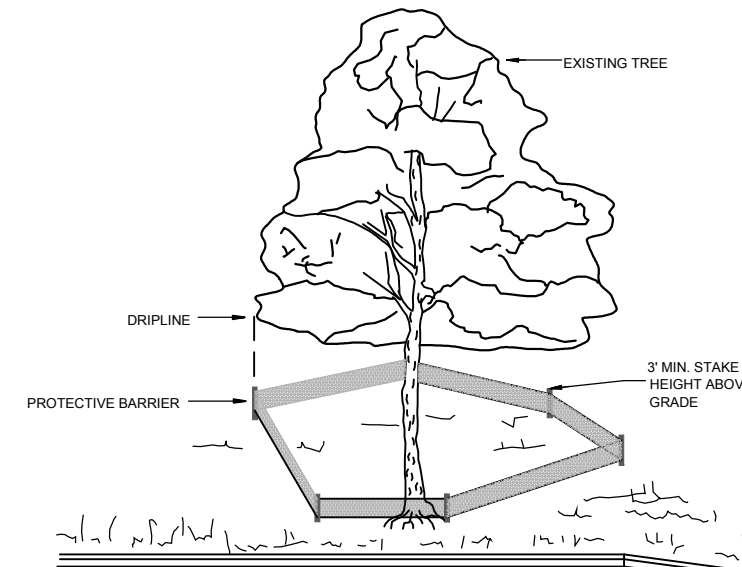
CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE
PROTECTION AREA / CONSERVATION AREA

TREE REMOVAL NOTES:

- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

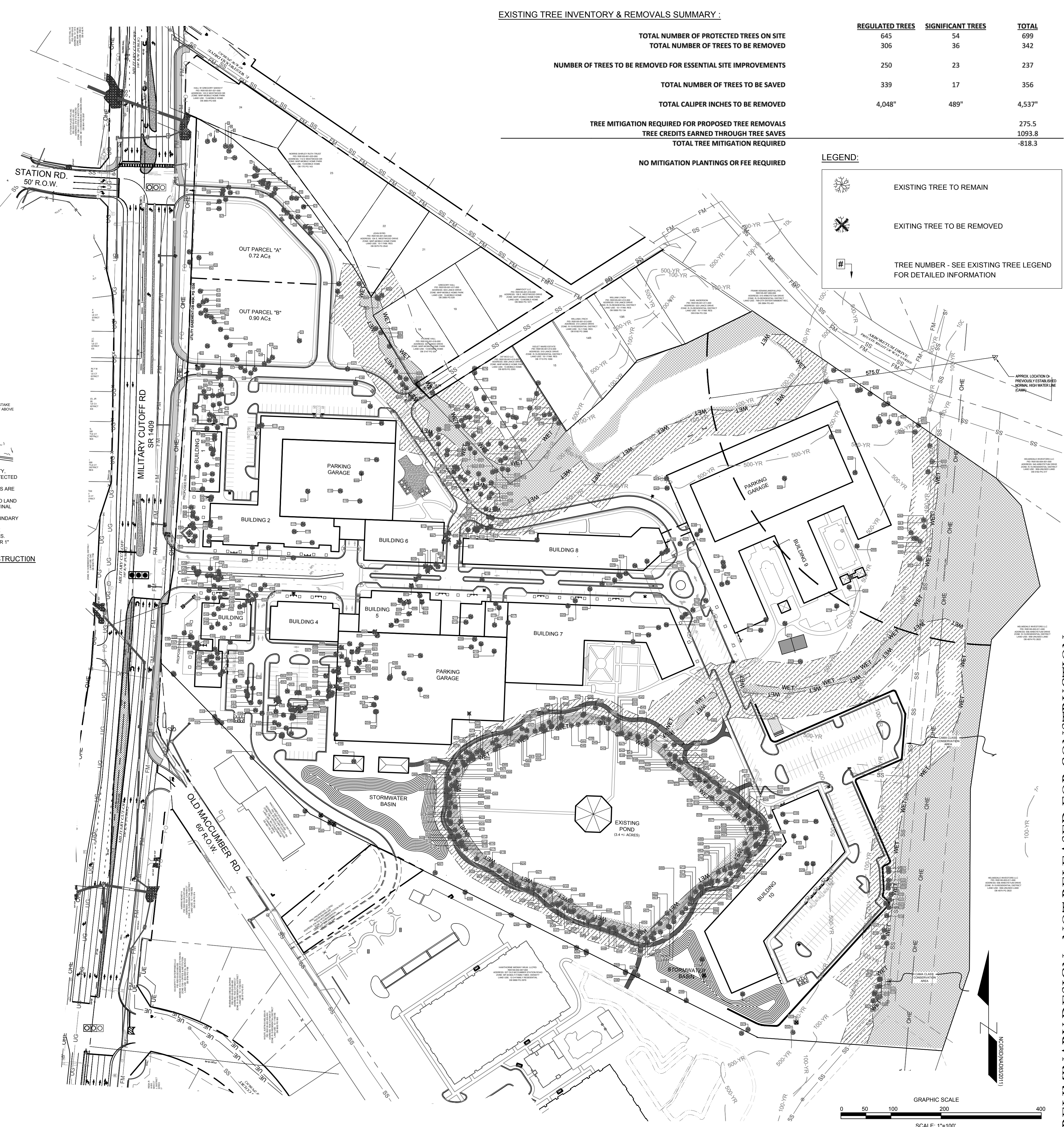
PLAN NOTES:

- REFER TO SHEETS L-1.2 AND L-1.3 FOR EXISTING TREE INVENTORY AND TREE REMOVAL LEGEND.
- REFER TO SHEETS L-1.4 THRU L-1.12 FOR DETAIL PLANS FOR EXISTING TREE INVENTORY AND TREE REMOVALS AT 1" = 30', OVERLAY ON PROPOSED SITE PLAN IMPROVEMENTS



- NOTES:**
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.
 - NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING AREA.
 - INSTALLATION OF PROTECTION FENCING IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITY AND IS TO BE MAINTAINED UNTIL AFTER FINAL SITE INSPECTION.
 - FENCING SHALL BE INSTALLED AT THE DRIP LINE OR AT THE BOUNDARY OF THE CRITICAL ROOT ZONE, WHICHEVER IS GREATER.
 - DRIP LINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.
 - CRITICAL ROOT ZONE - 1' RADIUS FROM THE TREE TRUNK PER 1" CALIPER.

A METHOD OF TREE PROTECTION DURING CONSTRUCTION



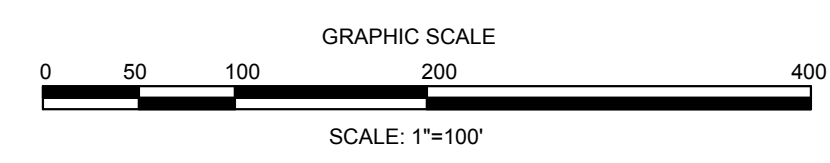
EXISTING TREE INVENTORY & REMOVALS SUMMARY :

	REGULATED TREES	SIGNIFICANT TREES	TOTAL
TOTAL NUMBER OF PROTECTED TREES ON SITE	645	54	699
TOTAL NUMBER OF TREES TO BE REMOVED	306	36	342
NUMBER OF TREES TO BE REMOVED FOR ESSENTIAL SITE IMPROVEMENTS	250	23	237
TOTAL NUMBER OF TREES TO BE SAVED	339	17	356
TOTAL CALIPER INCHES TO BE REMOVED	4,048"	489"	4,537"
TREE MITIGATION REQUIRED FOR PROPOSED TREE REMOVALS			275.5
TREE CREDITS EARNED THROUGH TREE SAVES			1093.8
TOTAL TREE MITIGATION REQUIRED			-818.3

NO MITIGATION PLANTINGS OR FEE REQUIRED

LEGEND:

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE NUMBER - SEE EXISTING TREE LEGEND FOR DETAILED INFORMATION



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License #: C-2846

TREE INVENTORY & REMOVALS OVERALL PLAN
CARROLL AT THE AVENUE
MILITARY CUTOFF RD
WILMINGTON, NC 28405

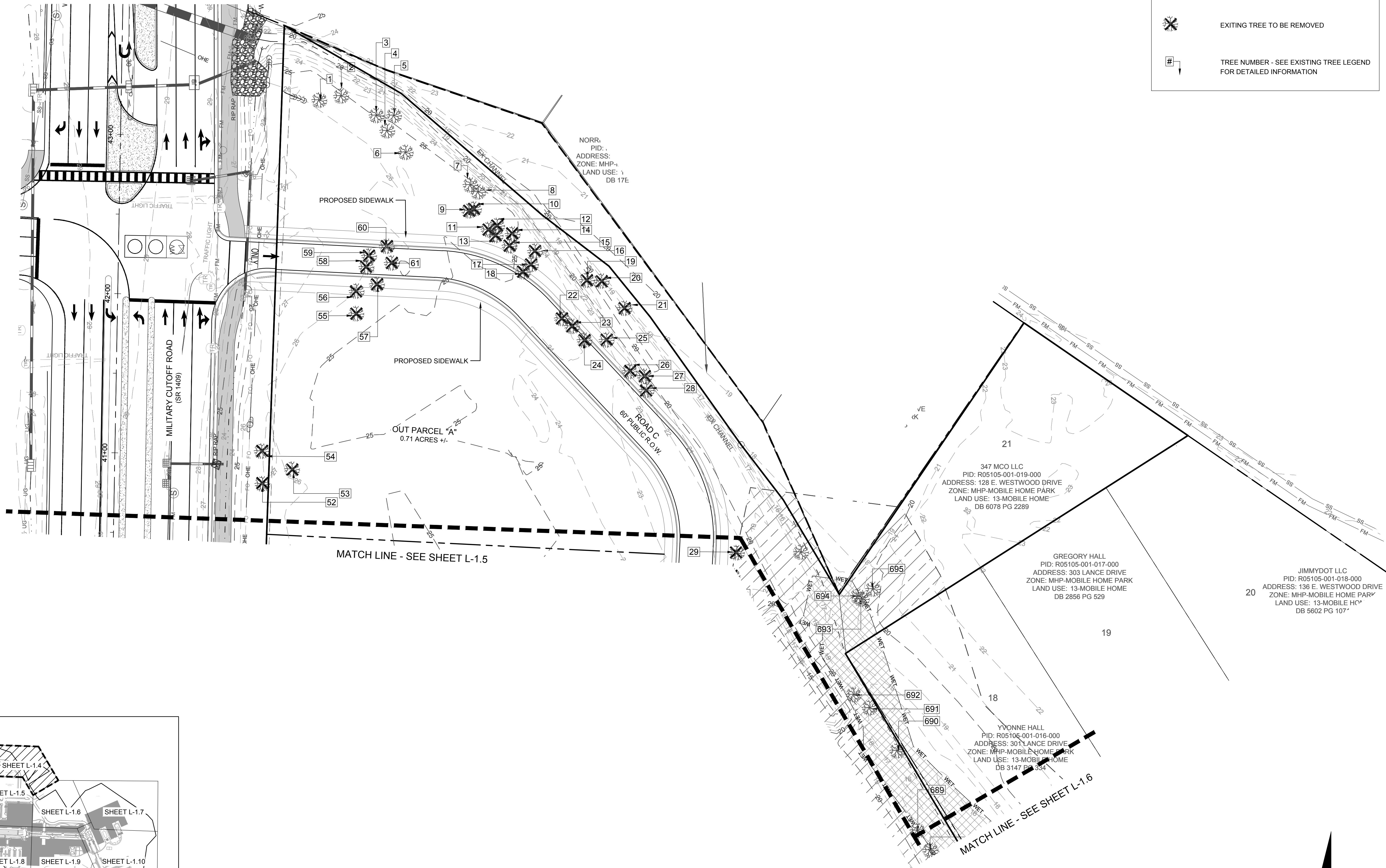
PROJECT STATUS:
DATE: 03/13/18
SCALE: 1" = 100'
DRAWN: [Name]
CHECKED: [Name]

SEAL

L-1.1

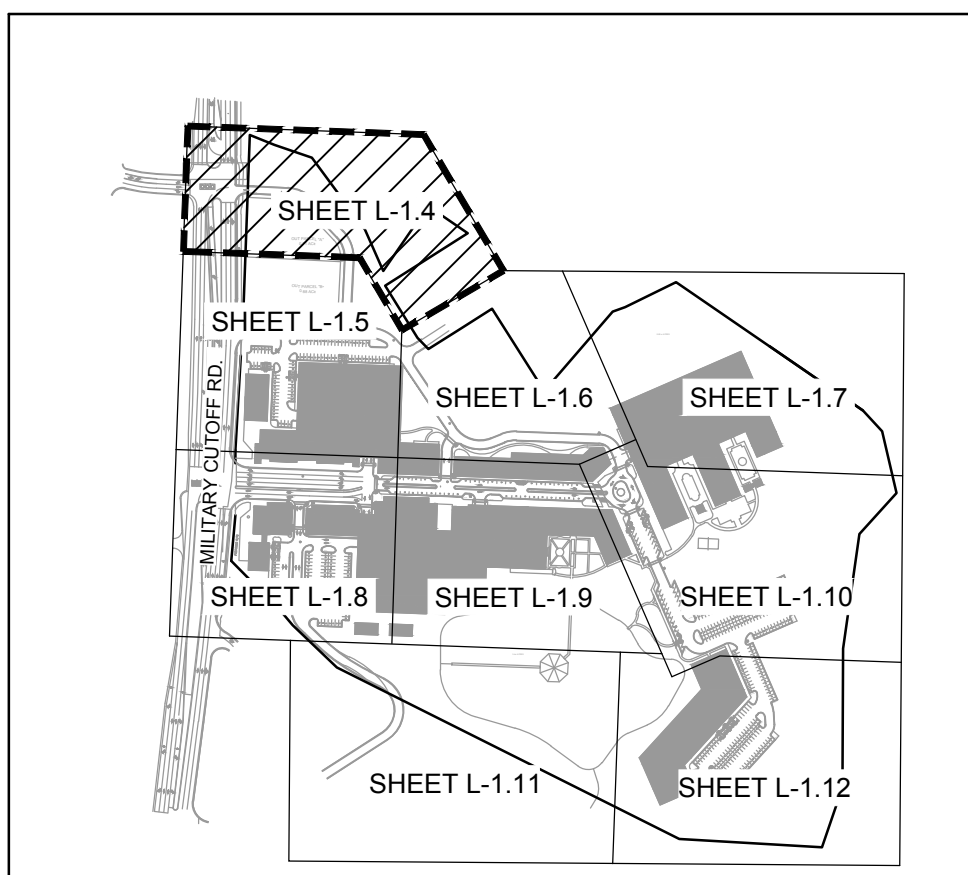
PEI JOB#: 18473.PE

TREE NUMBER ON PLAN	SIZE (D.B.H.) INCHES	TREE COMMON NAME	REMOVE TREE	SIGNIFICANT TREE	TREE TO BE REMOVED FOR AN ESSENTIAL SITE IMPROVEMENT	LOCATION OF TREE TO BE REMOVED FOR ESSENTIAL SITE IMPROVEMENT	TYPE OF TREE	TREE CATEGORY	% TREE MITIGATION REQUIRED	MITIGATION REQUIRED (REMOVALS)	PRESERVED TREE CREDIT (SAVES)	NO MITIGATION REQUIRED (REMOVAL FOR ESSENTIAL SITE IMPROVEMENTS)
1	10	DAK	NO	NO	NO		CONIFER	3	50	0	0	X
2	15	PINE	NO	NO	NO		CONIFER	3	50	0	0	X
3	14	PINE	NO	NO	NO		CONIFER	3	50	0	0	X
4	14	LONGLEAF PINE	NO	NO	NO		CONIFER	1	100	0	0	X
5	14	LONGLEAF PINE	NO	NO	NO		CONIFER	1	100	0	0	X
6	19	PINE	NO	NO	NO		CONIFER	3	50	0	0	X
7	13	LONGLEAF PINE	NO	NO	NO		CONIFER	1	100	0	0	X
8	15	LONGLEAF PINE	YES	NO	NO		CONIFER	1	100	0	0	X
9	6	MIMOSA	YES	NO	NO		FLOWERING	4	25	0.5	0	X
10	16	PINE	YES	NO	NO		CONIFER	3	50	2.7	0	X
11	13	PINE	YES	NO	NO		CONIFER	3	50	2.2	0	X
12	13	PINE	YES	NO	NO		CONIFER	3	50	2.2	0	X
13	13	PINE	YES	NO	NO		CONIFER	3	50	2.0	0	X
14	13	PINE	YES	NO	NO		CONIFER	3	50	2.2	0	X
15	15	PINE	YES	NO	NO		CONIFER	3	50	2.5	0	X
16	13	PINE	YES	NO	NO		CONIFER	3	50	2.2	0	X
17	15	PINE	YES	NO	NO		CONIFER	3	50	2.5	0	X
18	20	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
19	15	PINE	YES	NO	NO		CONIFER	3	50	2.5	0	X
20	13	PINE	YES	NO	NO		CONIFER	3	50	2.2	0	X
21	20	DAK MULTI (14, 16)	YES	YES	NO		HARDWOOD	1	100	10.0	0	X
22	15	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
23	14	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
24	13	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
25	12	PINE	YES	NO	NO		CONIFER	3	50	3.0	0	X
26	12	PINE	YES	NO	NO		CONIFER	3	50	2.0	0	X
27	12	PINE	YES	NO	NO		CONIFER	3	50	2.0	0	X
28	12	PINE	YES	NO	NO		CONIFER	3	50	2.0	0	X
29	10	DAK	YES	NO	NO		HARDWOOD	1	100	3.3	0	X
30	18	PINE	YES	NO	NO		CONIFER	3	50	3.0	0	X
31	16	HOLLY MULTI (5,5,6)	YES	YES	NO		FLOWERING	1	100	10.7	0	X
32	18	PINE	YES	NO	NO		CONIFER	3	50	3.0	0	X
33	18	PINE	YES	NO	NO		CONIFER	3	50	3.0	0	X
34	11	PINE	YES	NO	NO		CONIFER	3	50	2.2	0	X
35	18	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
36	11	PINE	YES	NO	NO		CONIFER	3	50	2.0	0	X
37	13	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
38	12	PINE	YES	NO	NO		CONIFER	3	50	2.0	0	X
39	14	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
40	10	HOLLY	YES	YES	NO		FLOWERING	1	100	6.7	0	X
41	10	HOLLY	YES	YES	NO		FLOWERING	1	100	6.7	0	X
42	10	HOLLY	YES	YES	NO		FLOWERING	1	100	6.7	0	X
43	8	HOLLY	YES	YES	NO		FLOWERING	1	100	5.3	0	X
44	14	HOLLY	YES	YES	NO		FLOWERING	1	100	4.0	0	X
45	14	PINE	YES	NO	NO		CONIFER	3	50	3.0	0	X
46	18	LONGLEAF PINE	YES	NO	NO		CONIFER	1	100	6.0	0	X
47	25	PINE	YES	NO	NO		CONIFER	3	50	2.3	0	X
48	12	PINE	YES	NO	NO		CONIFER	3	50	2.0	0	X
49	14	PINE	YES	NO	NO		CONIFER	3	50	2.3	0	X
50	10	PINE	YES	NO	NO		CONIFER	3	50	2.2	0	X
51	11	DAK	YES	NO	NO		HARDWOOD	1	100	3.7	0	X
52	14	LONGLEAF PINE	YES	NO	NO		CONIFER	1	100	4.7	0	X
53	8	CRAPE MYRTLE	YES	YES	NO		FLOWERING	100	1	5.3	0	X
54	12	PINE	YES	NO	NO		CONIFER	3	50	2.0	0	X
55	8	DAK	YES	NO	NO		HARDWOOD	1	100	2.7	0	X
56	12	LONGLEAF PINE	YES	NO	NO		CONIFER	100	1	4.0	0	X
57	19	PINE	YES	NO	NO		CONIFER	3	50	3.2	0	X
58	12	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
59	12	PINE	YES	NO	NO		CONIFER	3	50	0	0	X
60	8	HOLLY	YES	YES	YES	ROADWAY	FLOWERING	1	100	0	0	X
61	7	HOLLY	YES	YES	YES	ROADWAY	FLOWERING	1	100	0	0	X
62	14	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
63	12	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
64	17	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
65	12	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
66	12	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
67	12	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
68	14	LONGLEAF PINE	YES	NO	NO		CONIFER	100	1	4.7	0	X
69	13	PINE	YES	NO	NO		CONIFER	3	50	2.2	0	X
70	10	DAK	YES	NO	NO		HARDWOOD	1	100	2.2	0	X
71	13	LONGLEAF PINE	YES	NO	NO	PARKING	CONIFER	1	100	0	0	X
72	12	LONGLEAF PINE	YES	NO	NO	PARKING	CONIFER	1	100	0	0	X
73	13	LONGLEAF PINE	YES	NO	NO	PARKING	CONIFER	1	100	0	0	X
74	13	LONGLEAF PINE	YES	NO	NO	PARKING	CONIFER	1	100	0	0	X
75	8	DAK	YES	NO	NO	PARKING	HARDWOOD	1	100	0	0	X
76	10	PINE	YES	NO	NO	PARKING	CONIFER	3	50	0	0	X
77	14	LONGLEAF PINE	YES	NO	NO	PARKING	CONIFER	1	100	0	0	X
78	13	PINE	YES	NO	NO	PARKING	CONIFER	3	50	0	0	X
79	14	LONGLEAF PINE	YES	NO	NO	PARKING	CONIFER	3	50	0	0	X
80	12	PINE	YES	NO	NO	PEDESTRIAN AREA	CONIFER	3	50	0	0	X
81	12	PINE	YES	NO	NO	PEDESTRIAN AREA	CONIFER	3	50	0	0	X
82	15	PINE	YES	NO	NO	PEDESTRIAN AREA	CONIFER	3	50	0	0	X
83	14	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
84	15	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
85	17	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
86	13	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
87	14	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
88	14	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
89	16	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
90	12	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
91	13	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
92	13	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
93	14	LONGLEAF PINE	YES	NO	NO	PEDESTRIAN AREA	CONIFER	1	100	0	0	X
94	14	PINE	YES	NO	NO	PEDESTRIAN AREA	CONIFER	3	50	0	0	X
95	14	LONGLEAF PINE	YES	NO	NO	PEDESTRIAN AREA	CONIFER	1	100	0	0	X
96	12	LONGLEAF PINE	YES	NO	NO	PEDESTRIAN AREA	CONIFER	1	100	0	0	X
97	12	DAK	YES	NO	NO	PEDESTRIAN AREA	HARDWOOD	1	100	0	0	X
98	13	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
99	10	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
100	12	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
101	8	DAK	YES	NO	NO		HARDWOOD	1	100	2.7	0	X
102	8	CHERRY	YES	NO	NO		FLOWERING	10	1	3.0	0	X
103	16	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
104	12	LONGLEAF PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	1	100	0	0	X
105	16	PINE	YES	NO	NO		CONIFER	3	50	3.7	0	X
106	8	DAK	YES	NO	NO		HARDWOOD	1	100	3.7	0	X
107	6	HOLLY	YES	YES	NO		FLOWERING	1	100	4.0	0	X
108	10	HOLLY	YES	YES	NO	ROADWAY	FLOWERING	1	100	0	0	X
109	6	HOLLY	YES	YES	YES	PARKING	FLOWERING	1	100	0	0	X
110	6	HOLLY	YES	YES	YES	BUILDING FOOTPRINT	FLOWERING	1	100	0	0	X
111	16	LONGLEAF PINE	YES	NO	NO		CONIFER	1	100	0	0	X
112	12	DAK	YES	NO	NO	BUILDING FOOTPRINT	HARDWOOD	1	100	0	0	X
113	8	HOLLY	YES	YES	YES	BUILDING FOOTPRINT	FLOWERING	1	100	0	0	X
114	20	DAK MULTI (6,8,8)	YES	YES	NO		HARDWOOD	1	100	0	0	X
115	9	HOLLY	YES	YES	YES	BUILDING FOOTPRINT	FLOWERING	1	100	0	0	X
116	15	PINE	YES	NO	NO	BUILDING FOOTPRINT	CONIFER	3	50	0	0	X
117	6	HOLLY	YES	YES	YES	BUILDING FOOTPRINT	FLOWERING	1	100	0	0	X
118	7	HOLLY	YES	YES	YES	BUILDING FOOTPRINT	FLOWERING	1	100	0	0	X
119	20	DAK	YES	NO	NO	BUILDING FOOTPRINT	HARDWOOD	1	100	0	0	X
120	16	HOLLY MULTI (8,8)	YES	YES	YES	PEDESTRIAN AREA	FLOWERING	1	100	0	0	X
121	8	HOLLY	YES	YES	YES	PEDESTRIAN AREA	FLOWERING	1	100	0	0	X
122	18	PINE	YES	NO	NO		CONIFER	3	50	0	0	X
123	14	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
124	13	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
125	13	DAK	YES	NO	NO	ROADWAY	HARDWOOD	1	100	0	0	X
126	6	MAGNOLIA	YES	NO	NO	ROADWAY	FLOWERING	1	100	0	0	X
127	18	DAK	YES	NO	NO	ROADWAY	HARDWOOD	1	100	0	0	X
128	18	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
129	12	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
130	12	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
131	11	GLUM	YES	NO	NO	ROADWAY	HARDWOOD	2	75	0	0	X
132	12	DAK	YES	NO	NO	ROADWAY	HARDWOOD	1	100	0	0	X
133	12	DAK	YES	NO	NO	ROADWAY	HARDWOOD	1	100	0	0	X
134	12	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
135	12	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
136	16	PINE	YES	NO	NO	ROADWAY	CONIFER	3	50	0	0	X
137	8	DAK										

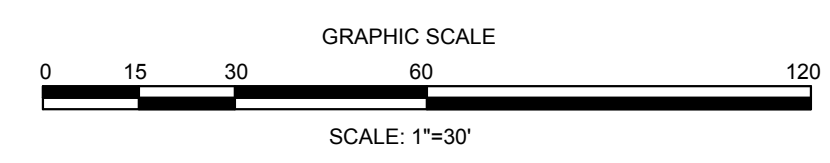


LEGEND:

	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	TREE NUMBER - SEE EXISTING TREE LEGEND FOR DETAILED INFORMATION



KEY MAP
SCALE: 1" = 500'



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
CIP CONSTRUCTION COMPANY
201 NORTH ELM STREET, STE. 201
GREENSBORO, NC 27401

PARAMOUNT ENGINEERING
122 Cinema Drive
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(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

**TREE INVENTORY & REMOVALS
DETAIL PLAN**
CARROLL AT THE AVENUE
MILITARY CUTOFF RD
WILMINGTON, NC 28405

PROJECT STATUS

PRELIMINARY DESIGN	
FINAL DESIGN	
RELEASED FOR CONSTRUCTION	

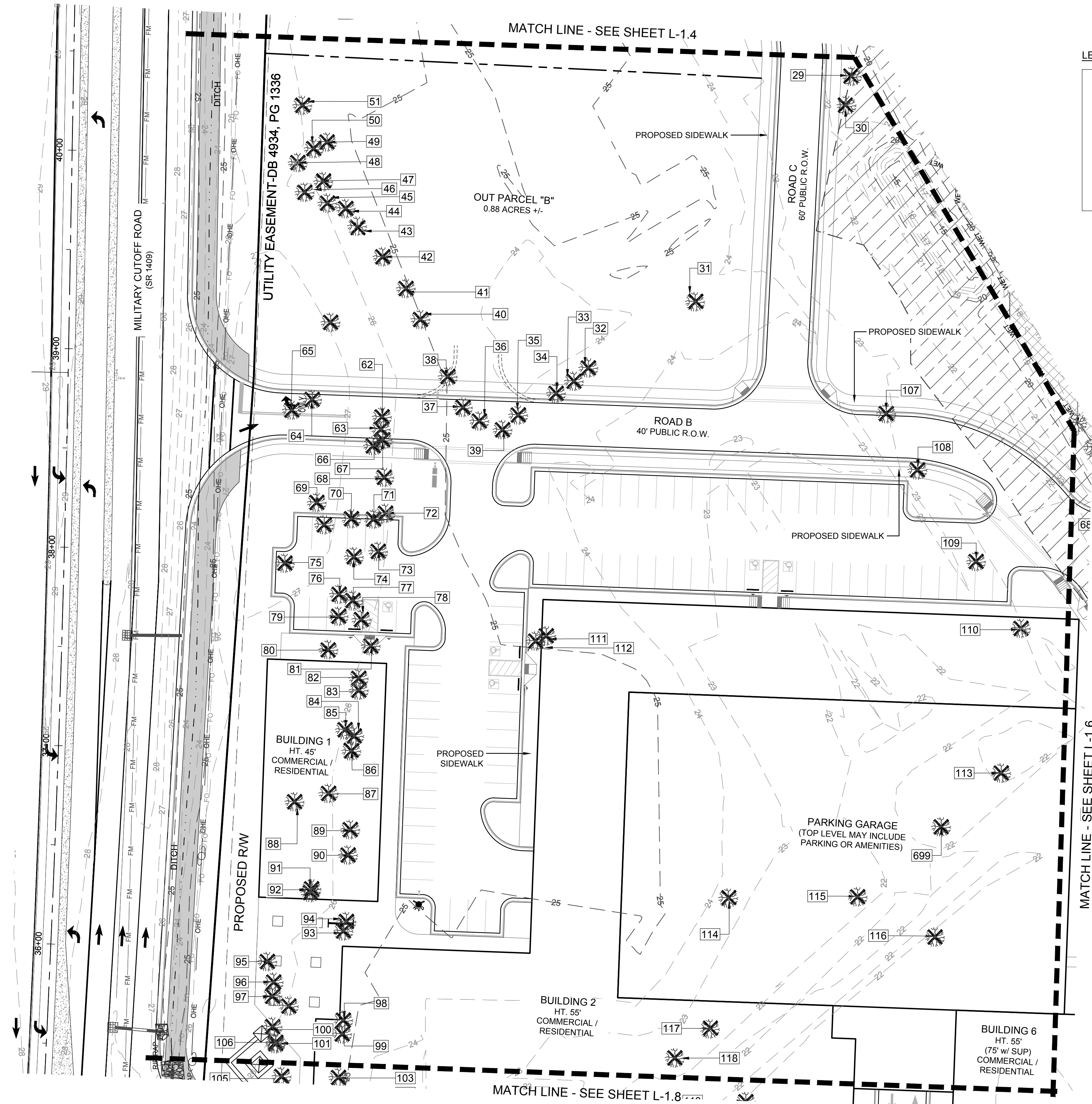
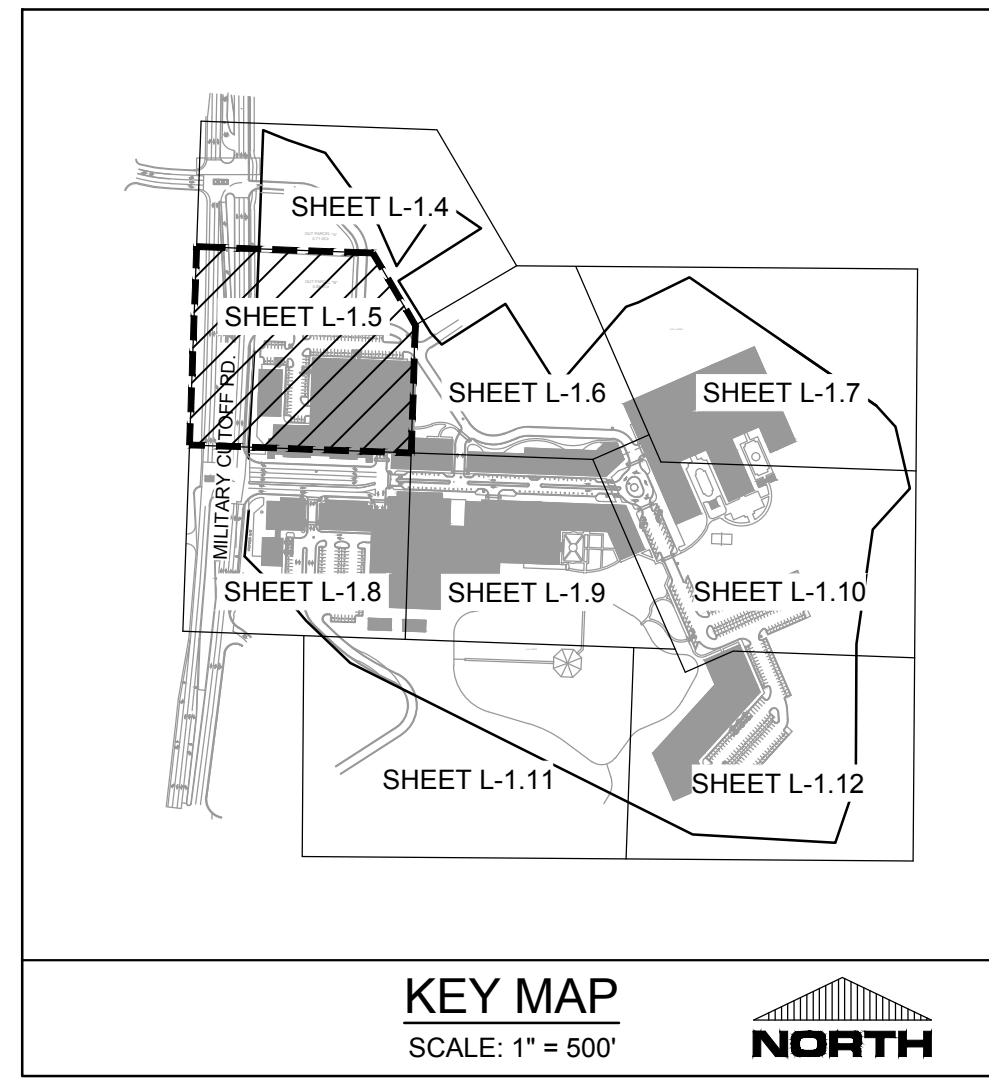
DRAWING INFORMATION

DATE:	03/13/18
SCALE:	1" = 30'
DRAWN:	AM
CHECKED:	REB

SEAL

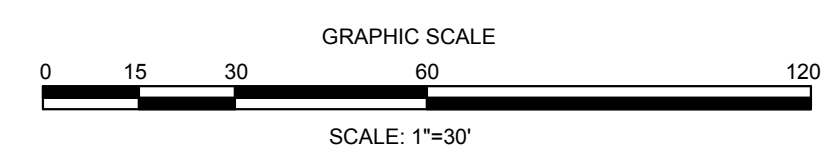
L-1.4

PEI JOB#: 18473.PE



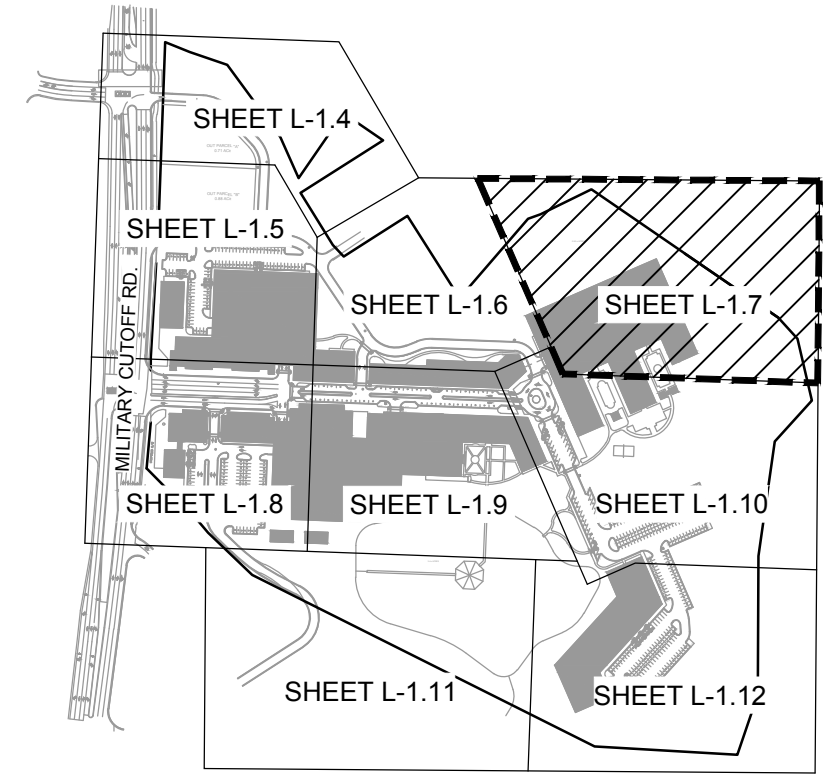
LEGEND:

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE NUMBER - SEE EXISTING TREE LEGEND FOR DETAILED INFORMATION



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>PROJECT STATUS</p> <p>DATE: 03/13/18 SCALE: 1"=30' DRAWN: [blank] CHECKED: [blank]</p>		<p>TREE INVENTORY & REMOVALS DETAIL PLAN CARROLL AT THE AVENUE MILITARY CUTOFF RD WILMINGTON, NC 28405</p>	<p>CLIENT INFORMATION:</p> <p>PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28405 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846</p>
<p>SEAL</p>		<p>L-1.5</p>	<p>REVISIONS:</p>
<p>PEI JOB#: 18473.PE</p>		<p>CIP CONSTRUCTION COMPANY 201 NORTH ELM STREET, STE. 201 GREENSBORO, NC 27401</p>	

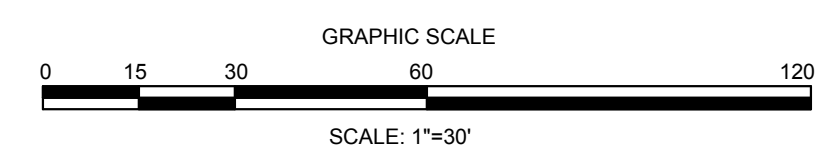
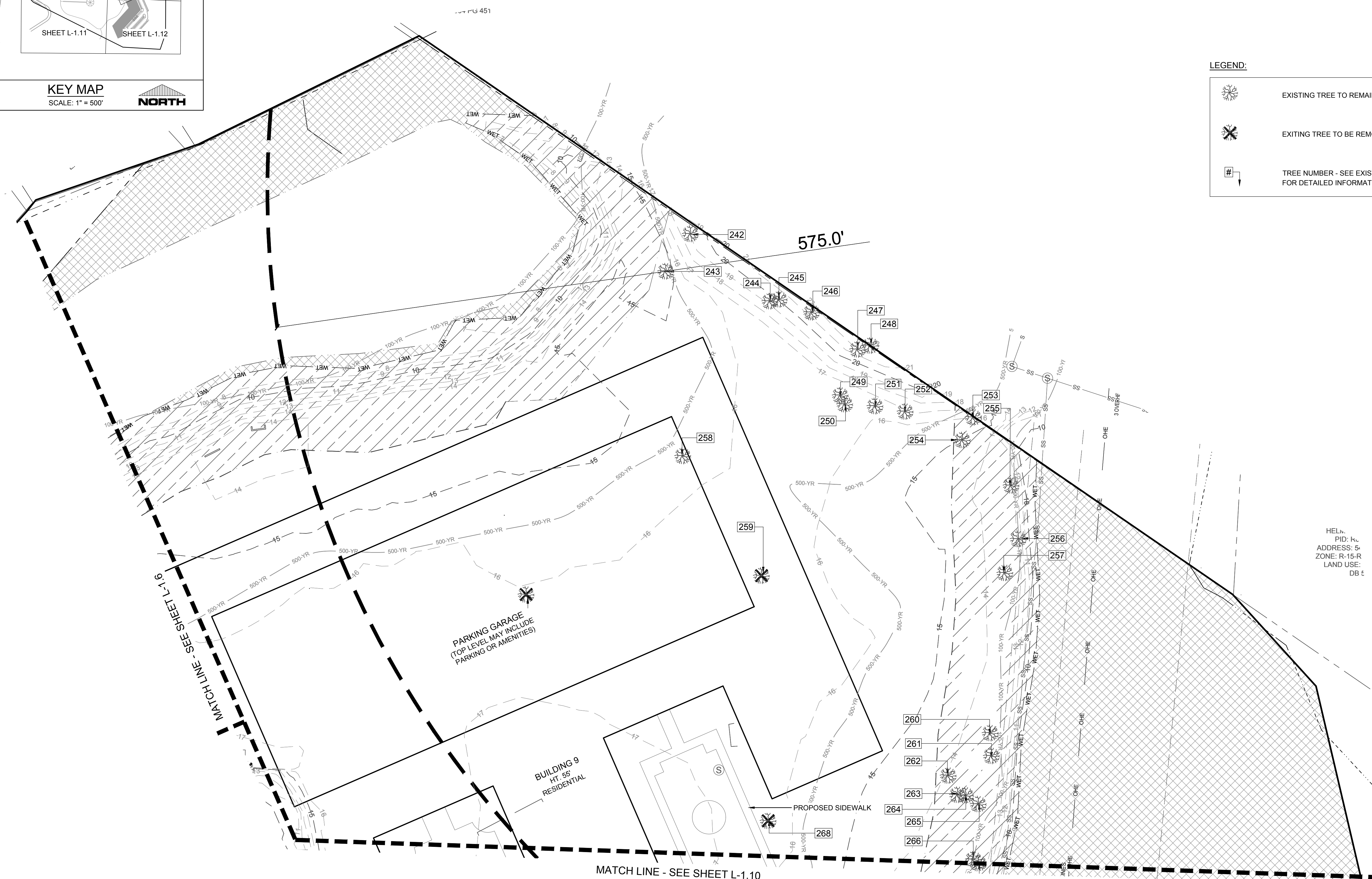


KEY MAP
SCALE: 1" = 500'



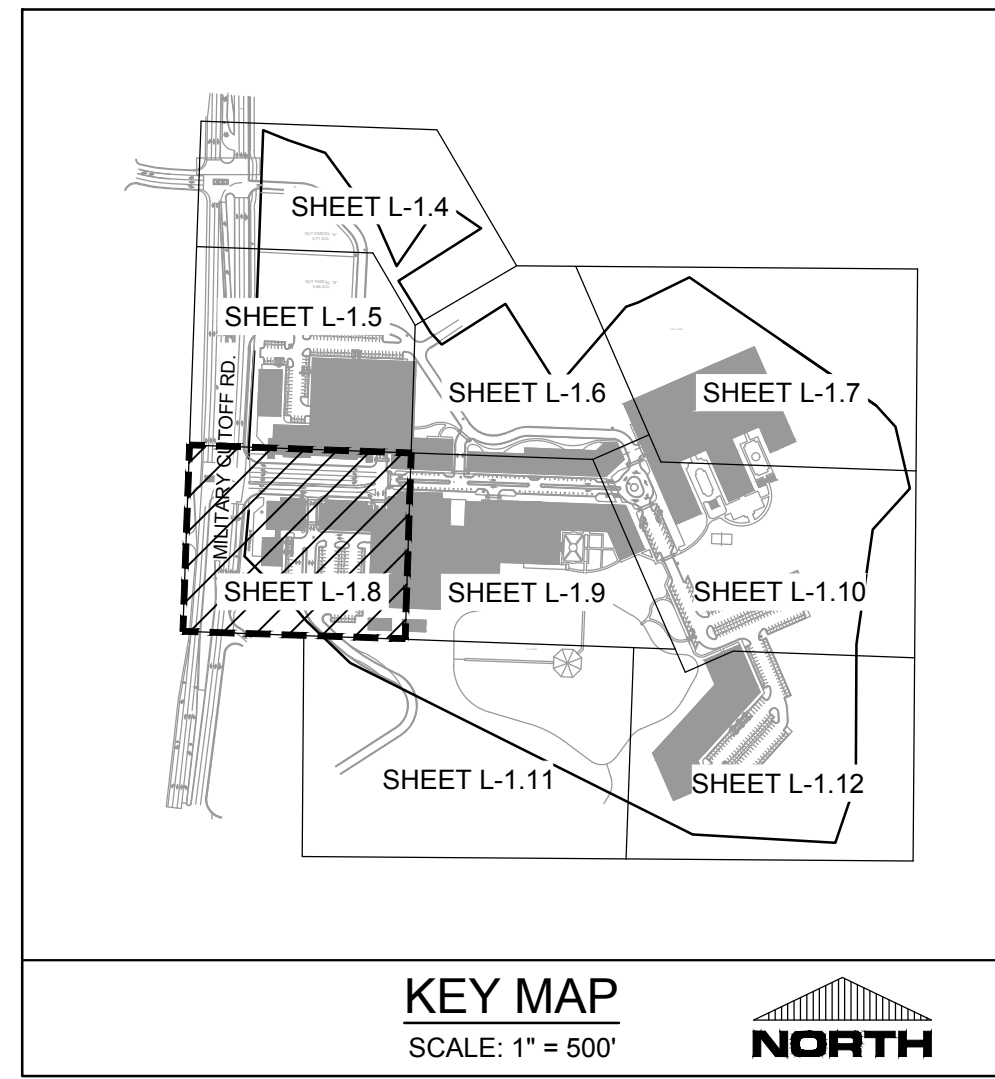
LEGEND:

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE NUMBER - SEE EXISTING TREE LEGEND FOR DETAILED INFORMATION



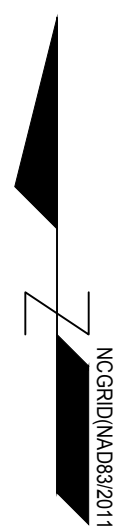
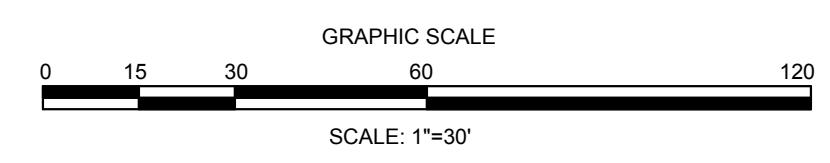
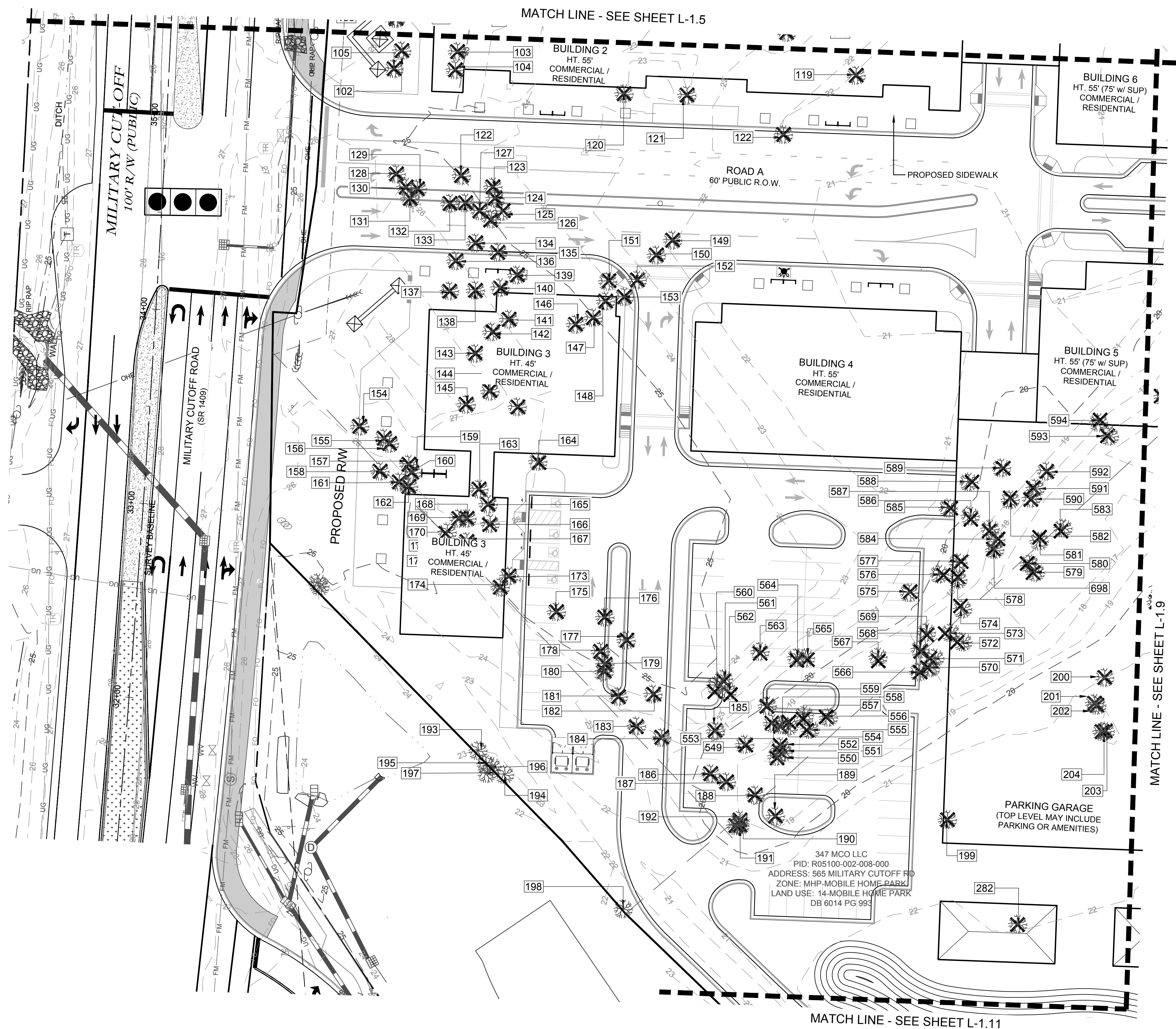
PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:							
CLIENT INFORMATION:							
CIP CONSTRUCTION COMPANY 201 NORTH ELM STREET, STE. 201 GREENSBORO, NC 27401							
PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28405 (910) 791-6707 (O) (910) 791-6700 (F) NC License #: C-2846							
TREE INVENTORY & REMOVAL DETAIL PLAN CARROLL AT THE AVENUE MILITARY CUTOFF RD WILMINGTON, NC 28405							
PROJECT STATUS		DRAWING INFORMATION		DATE		CHECKED	
DESIGNED BY: []		DATE: 03/13/18		SCALE: 1" = 30'		DRAWN: []	
FINAL DESIGN: []		1" = 30'		1" = 30'		CHECKED: []	
PRELIMINARY LAYOUT: []		1" = 30'		1" = 30'		1" = 30'	
RELEASED FOR CONSTRUCTION: []		1" = 30'		1" = 30'		1" = 30'	
SEAL							
L-1.7							
PEI JOB#: 18473.PE							



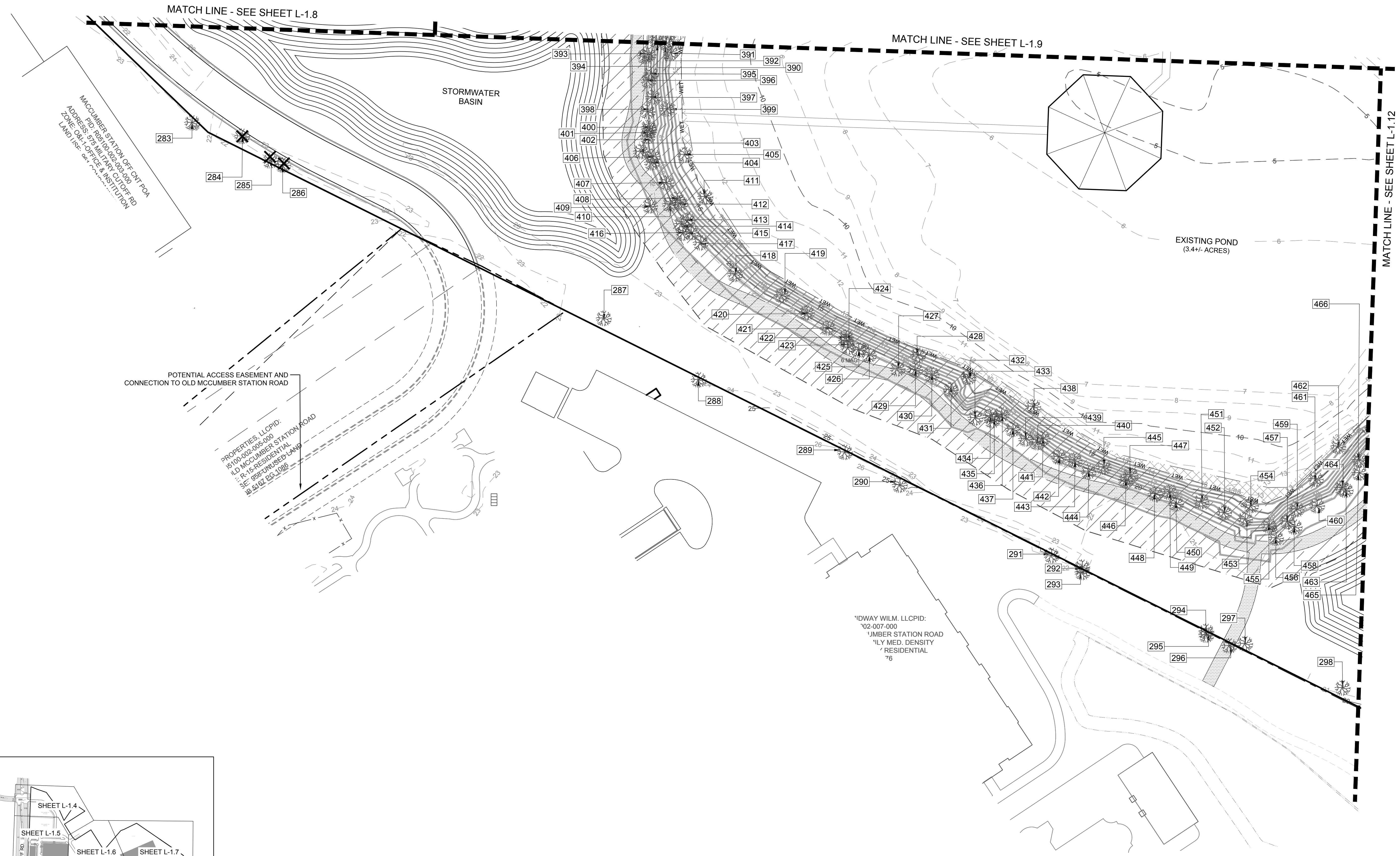
LEGEND:

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE NUMBER - SEE EXISTING TREE LEGEND FOR DETAILED INFORMATION



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:	
CLIENT INFORMATION:	<p>CIP CONSTRUCTION COMPANY 201 NORTH ELM STREET, STE. 201 GREENSBORO, NC 27401</p>
TREE INVENTORY & REMOVAL DETAIL PLAN	<p>CARROLL AT THE AVENUE MILITARY CUTOFF RD WILMINGTON, NC 28405</p>
PROJECT STATUS	<p>DESIGNED BY: [] FINAL DESIGN: [] PRELIMINARY LAYOUT: [] RELEASED FOR CONSTRUCTION: []</p>
DRAWING INFORMATION	<p>DATE: 03/13/18 SCALE: 1" = 30' DRAWN: [] CHECKED: []</p>
SEAL	
L-1.8	
PEI JOB#: 18473.PE	

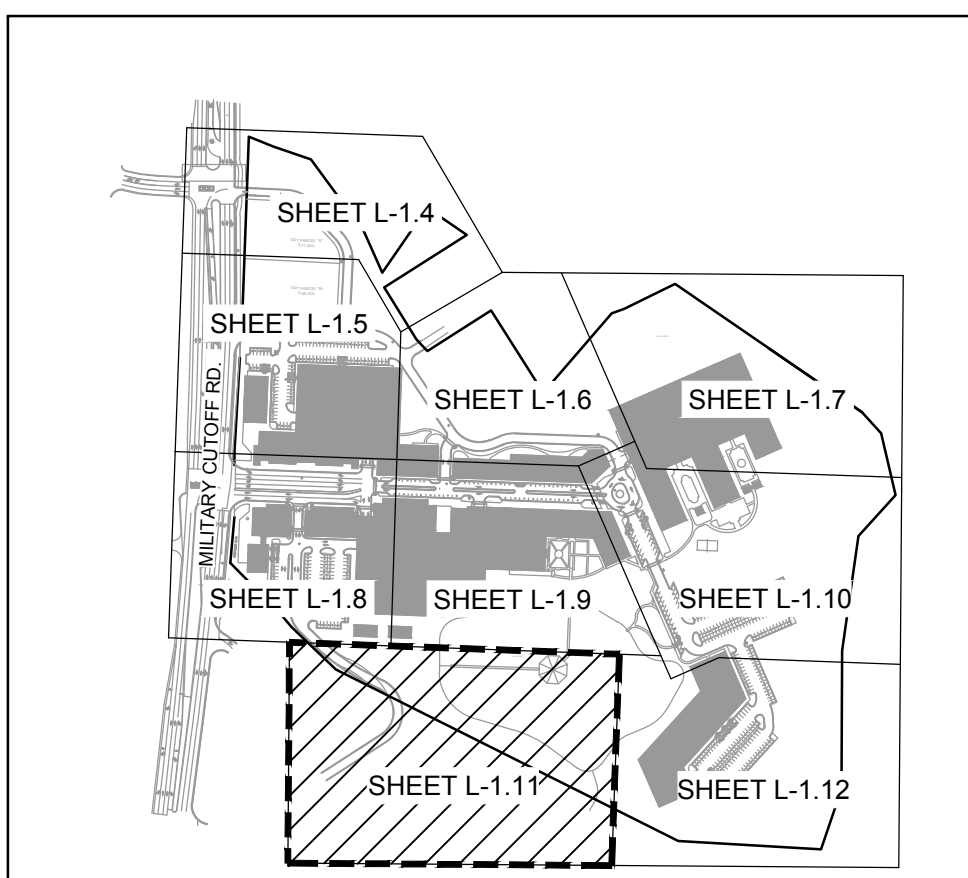


MCCUMBER STATION OFF CMT PDA
 ADDRESS: 579 MILITARY CUTOFF RD
 ZONING: OFF-ICE/RESIDENTIAL INSTITUTION
 LAND USE: OFF-ICE/RESIDENTIAL INSTITUTION

POTENTIAL ACCESS EASEMENT AND
 CONNECTION TO OLD MCCUMBER STATION ROAD

PROPERTIES, LLC PID:
 P100-002-005-000
 OLD MCCUMBER STATION
 15 RESIDENTIAL
 SEE 988 UNDESIGNED LAND
 18 SURV. PG. 1086

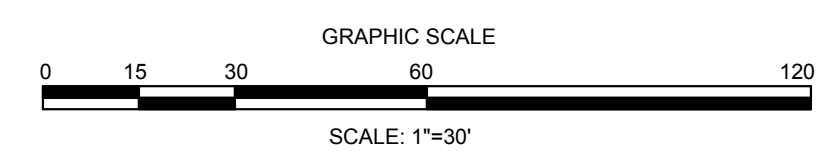
OLDWAY WILM. LLC PID:
 02-007-000
 MCCUMBER STATION ROAD
 15 MED. DENSITY
 RESIDENTIAL
 76



KEY MAP
 SCALE: 1" = 500'
NORTH

LEGEND:

	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	TREE NUMBER - SEE EXISTING TREE LEGEND FOR DETAILED INFORMATION



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
CIP CONSTRUCTION COMPANY
 201 NORTH ELM STREET, STE. 201
 GREENSBORO, NC 27401

PARAMOUNT
 ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

**TREE INVENTORY & REMOVALS
 DETAIL PLAN**
 CARROLL AT THE AVENUE
 MILITARY CUTOFF RD
 WILMINGTON, NC 28405

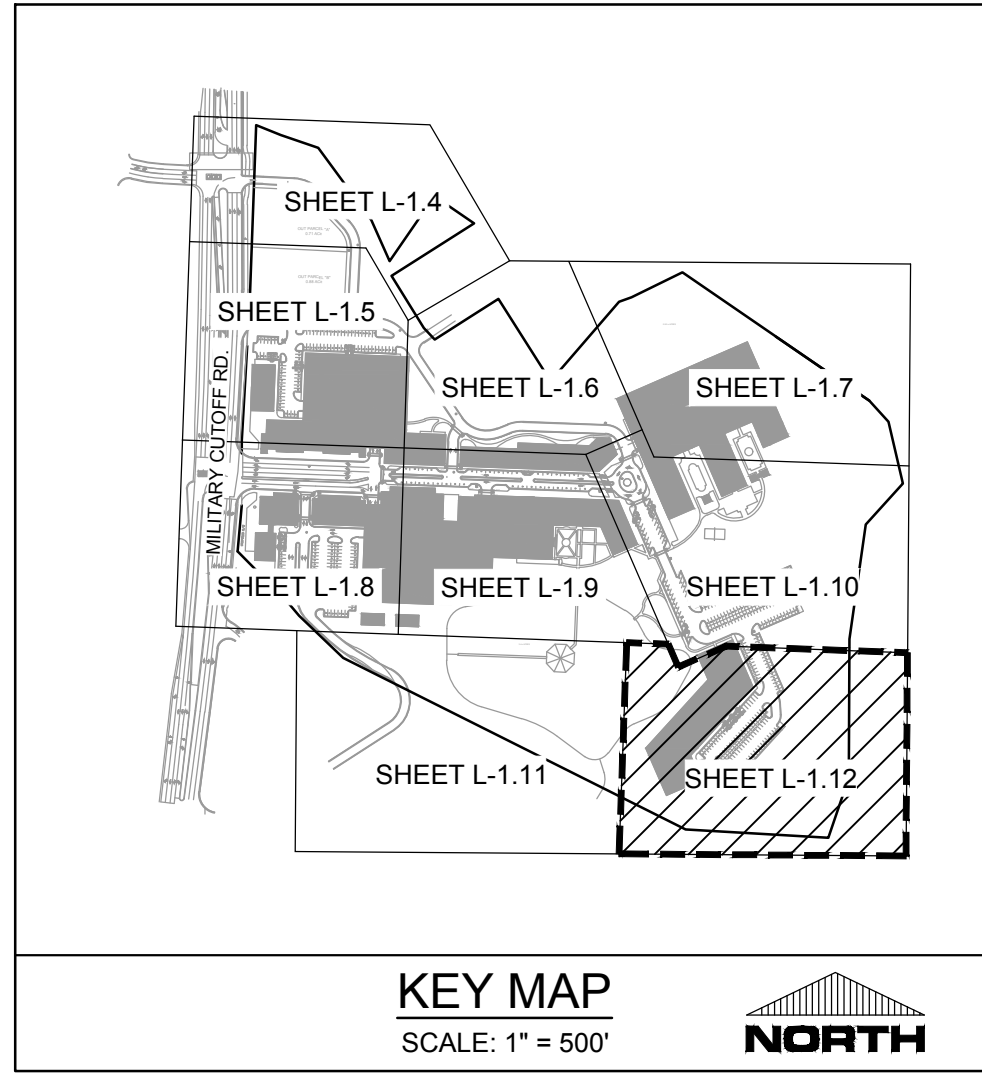
PROJECT STATUS

DATE:	03/13/18
SCALE:	1" = 30'
DRAWN:	MM
CHECKED:	MM

SEAL

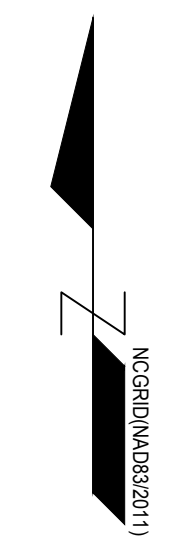
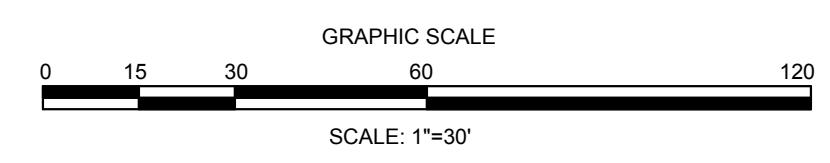
L-1.11

PEI JOB#: 18473.PE



LEGEND:

	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	TREE NUMBER - SEE EXISTING TREE LEGEND FOR DETAILED INFORMATION



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

<p>PROJECT STATUS PRELIMINARY LAYOUT: FINAL DESIGN: RELEASED FOR CONSTRUCTION: DATE: 03/13/18 SCALE: 1" = 30' DRAWN: [Signature] CHECKED: [Signature]</p>		<p>CLIENT INFORMATION: CIP CONSTRUCTION COMPANY 201 NORTH ELM STREET, STE. 201 GREENSBORO, NC 27401</p>
<p>TREE INVENTORY & REMOVALS DETAIL PLAN CARROLL AT THE AVENUE MILITARY CUTOFF RD WILMINGTON, NC 28405</p>		
<p>SEAL</p>		<p>REVISIONS:</p>
<p>L-1.12</p>		<p>PEI JOB#: 18473.PE</p>